

**Notice of an Electronically Conducted  
Regular Meeting of the Charter Township of Union  
Planning Commission**

Notice is hereby given that the Charter Township of Union Planning Commission will conduct a regular meeting electronically on Tuesday, March 16, 2021 at 7:00 p.m., consistent with the emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended)."

There will be no in-person attendance in the Township Hall Board Room (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Planning Commission members and Township staff may choose to participate from this location.

All interested persons may attend and participate. The public may participate in the meeting by computer and smart phone using the following link to the electronic meeting location: <https://us02web.zoom.us/j/89751444718> (Meeting ID: "897 5144 4718" Passcode "038923"). The moderator will open public access to the electronic meeting space at 6:55 p.m.

To participate via telephone conference call, please call (312) 626-6799. Enter "897 5144 4718" and the "#" sign at the "Meeting ID" prompt. Lastly, re-enter the "#" sign again at the "Participant ID" prompt to join the meeting.

The meeting agenda, packet of materials relating to the meeting, and instructions for connecting to the meeting electronically are available on the Township's website under "Minutes and Board Packets" at <http://www.uniontownshipmi.com/>.

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please use the "Raise Your Hand" button at the bottom center of the screen. To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (\*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

If there are a large number of participants, the Chair may choose to call on individuals by name or telephone number. Please speak clearly and provide your name and address before making your comments. Please note that the meeting moderator will control the muting and unmuting of participants during public comment.

Written comments to the Planning Commission may also be delivered to the drop box at the Township Hall. Comments received prior to 3:00 p.m. on the day of the meeting will be read aloud to the Planning Commission.

Persons with disabilities needing assistance to participate should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance may contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

**Instructions to Participate in an Electronically Conducted  
Regular Meeting of the Charter Township of Union  
Planning Commission**

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**Raise Your Hand for Citizen Participation During the Public Comment Periods**

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Click “Lower Hand” to lower it if needed. The host will be notified that you have raised your hand. The Mute/Unmute function will be controlled by the meeting moderator.

**To raise your hand for telephone dial-in participants, press “star” and then the number “nine” (\*9).** The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

**Do I need to download the Zoom app to access the meeting?** No. Use of the Zoom app is recommended, but you will have options to “download & run Zoom” or “join from your browser” when you click on the link to join the meeting.

**Can I Use Bluetooth Headset?** Yes, if the Bluetooth device is compatible with the computer or mobile device that you are using.

**Do I have to have a webcam to join on Zoom?** While you are not required to have a webcam to join a Zoom Meeting, you will not be able to transmit video of yourself. You will continue to be able to listen and speak during public comment and view the webcam video of other participants.

**Leaving the Meeting:** Click the “Leave Meeting” link at the bottom right corner of the screen at any time to leave the meeting.



**Planning Commission**  
**Regular Electronic Meeting. Instructions for access will be posted and available on website**  
**(uniontownshipmi.com) home page**  
**March 16, 2021**  
**7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES  
-February 16, 2021
5. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
  - A. Cody updates from Board of Trustees
  - B. Buckley updates from ZBA
  - C. Darin updates from Sidewalk and Pathways
6. APPROVAL OF AGENDA
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
  - A. **Annual election of officers**
    - a. Chair
    - b. Vice-Chair
    - c. Secretary
  - B. **PSUP20-03 New County Jail and Sheriff's Office facility – Special Use Permit application**
    - a. Updates from staff
    - b. Public hearing
    - c. Request from the applicant to postpone deliberation and action
  - C. **PREZ21-01 Application to rezone 5048 E. Pickard Rd. (PID 14-146-00-003-00) on the south side of E. Pickard Rd. and west side of Florence St. from split B-7/R-2B to all B-7**
    - a. Introduction
    - b. Public hearing
    - c. Updates from staff and the applicant
    - d. Commission deliberation and action (recommend approval or denial to the Board of Trustees, or postpone action)

**D. PSPR21-05 Consumers Energy City Gate - Final Site Plan application**

**a. Introduction**

**b. Updates from staff and the applicant**

**c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

**E. Parks and Recreation Master Plan Update**

**a. Discussion of public participation options**

**F. Master Plan implementation**

9. OTHER BUSINESS

10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT



## Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2024
2-Chair	Phil	Squatrito	2/15/2023
3-Vice Chair	Ryan	Buckley	2/15/2022
4-Secretary	Alex	Fuller	2/15/2023
5-Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2024
7	Jessica	Lapp	2/15/2023
8	Tera	Albrecht	2/15/2024
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/15/2022
2 - Chair	Andy	Theisen	12/31/2022
3 - Vice Chair	Liz	Presnell	12/31/2022
4 - Secretary	vacant seat		12/31/2021
5 - Vice Secretary	Judy	Lannen	12/31/2022
Alt. #1	Brandon	LaBelle	12/31/2022
Alt. #2	vacant seat		2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2022
2	Sarvjit	Chowdhary	12/31/2022
3	Bryan	Neyer	12/31/2022
Alt #1	Randy	Golden	12/31/2022
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2021
2	Richard	Jakubiec	12/31/2021
3	Andy	Theisen	12/31/2021
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2022
2	John	Dinse	12/31/2021
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2021



## Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Bryan	Mielke	11/2024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2023
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2023
9	Jeff	Sweet	2/13/2025
10	vacant seat		2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2022
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2022
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Mike	Darin	8/15/2022
3 - Township Resident	Matt	Mertz	8/15/2021
4 - Township Resident	Jeremy	MacDonald	10/17/2022
5 - Member at large	vacant seat		8/15/2021
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1 - City of Mt. Pleasant	John	Zang	12/31/2023
2 - City of Mt. Pleasant	Judith	Wagley	12/31/2022
1 -Union Township	Stan	Shingles	12/31/2023
2 - Union Township	Allison	Chiodini	12/31/2022
At Large			
At Large			

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular - Electronic Meeting Minutes**

A regular-electric meeting of the Charter Township of Union Planning Commission was held on February 16, 2021 as a virtual meeting through the Zoom meeting platform.

**Meeting was called to order at 7:00 p.m.**

**Chair Squattrito welcomed Tera Albrecht to the Planning Commission.**

**Roll Call**

Present:

Albrecht (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Buckley (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Clerk Cody (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Darin (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Fuller (location: Union Township, Isabella County, Mt. Pleasant, MI)  
LaBelle (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Lapp (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Shingles (location: Union Township, Isabella County, Mt. Pleasant, MI)  
Squattrito (location: Isabella County, Mt. Pleasant, MI)

**Others Present**

Rodney Nanney, Community and Economic Development Director; Zoning Administrator, Peter Gallinat, and Administrative Assistant, Jennifer Loveberry

**Approval of Minutes**

**Fuller moved Shingles supported the approval of the January 19, 2021 regular meeting as presented. Vote: Ayes: 9 Nays: 0. Motion carried.**

**Correspondence / Reports/ Presentations**

- A. Board of Trustees updates by Clerk Cody
- B. ZBA updates by Buckley
- C. Sidewalks and Pathway Prioritization updates by Darin
- D. Memo from the Director re: planning for a future return to in-person meetings

**Approval of Agenda**

There was a consensus among the commissioners to include review of the bylaws and agenda organization on a future meeting agenda for review.

**Shingles moved Fuller supported to approve the Agenda as presented. Vote: Ayes: 9 Nays: 0. Motion Carried.**

**Public Comment**

Open 7:19 p.m.

No comments were offered.

Closed 7:19 p.m.

### **New Business**

#### **A. PSPR21-03 Malley Construction Contractor's Yard final site plan application**

##### **a. Introduction**

##### **b. Updates from staff and the applicant**

##### **c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

Nanney updated that a special use permit for a contractor's yard PSUP20-02 was reviewed by the Planning Commission following a public hearing held in December 2020. The Board of Trustees in January 2021 agreed with the Planning Commission's recommendation and took action to approve the special use permit for the contractor's yard.

A preliminary site plan SPR20-15 was reviewed and approved December 2020 by the Planning Commission. Changes as required have been made and the applicant has submitted a final site plan application for a Contractor's Yard located west of Packard Rd which is an expansion of the business currently conducted at 1565 S. Park Place.

**Cody** moved **Lapp** supported to approve the PSPR 21-03 final site plan from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the February 4, 2021 site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s): the requested temporary sidewalk relief be granted due to the property is in an industrial zoned district. **Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, Lapp, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.**

#### **B. PSPR20-14 Grayling Investors – Dunkin Donuts/Marathon Filling Station final site plan application**

##### **a. Introduction**

##### **b. Updates from staff and the applicant**

##### **c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

Nanney updated that a special use permit for a filling station SUP 2019-06 was previously approved in October of 2019. Previously this parcel was split zoned with 465 feet to the north zoned B-4 and 350 feet to the south zoned B-5. In November of 2020 the planning Commission held a public hearing on a request to rezone the entire parcel as B-5. The Planning Commission recommended approval and the Board of Trustees adopted the Zoning Map change in January of 2021.

A preliminary site plan SPR2019-12 was reviewed and approved November 2019 by the Planning Commission. Changes as required have been made and the applicant has submitted a final site plan application for the Dunkin Donuts Convenience Store, Drive-Through Lane, and Marathon Filling Station located on the southwest corner of the E. Broomfield Road and S. Isabella Road intersection in the NW 1/4 of Section 26 and in the B-5 zoning district.

**Cody** moved **Buckley** supported to approve the PSPR 20-04 final site plan from Grayling Investors LLC for the construction of a new Dunkin Donuts convenience store, drive-through lane, and Marathon filling station on parcel number 14-026-20-001-06, located on approximately 6.94 acres on the southwest corner of the E. Broomfield Road and S. Isabella Road intersection in the northwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the January 19, 2021 site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval). **Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, Lapp, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.**

**C. PSPR21-01 Sam's Club Filling Station final site plan application**

**a. Introduction**

**b. Updates from staff and the applicant**

**c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

Nanney updated that a special use permit for a filling station was previously approved in 2005, but the required site plan for the filling station was never approved. A new special use permit is not required because this approval stays with the land once approved.

A preliminary site plan PSPR20-02 was reviewed and approved January 2021. Changes have been made and the applicant has submitted a final site plan for approval for the Sam's Club Filling Station.

**Fuller** moved **Darin** supported to approve the PSPR 21-01 final site plan from Carlson Consulting Engineers for the construction of a new Sam's Club filling station on parcel number 14-026-30-001-07, located on approximately 16.8 acres west and north of Encore Drive in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the January 26, 2021 site plan fully complies with the applicable Zoning Ordinance

requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

**Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, Lapp, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.**

**D. PSUP20-03 & PSPR20-18 New Isabella County Jail and Sheriff's Office special use permit & preliminary site plan applications**

**a. Introduction**

**b. Updates from staff and the applicant**

**c. Commission discussion and confirmation that the PSUP20-03 application is ready for a 3/16/2021 public hearing date**

Nanney updated that the township is continuing to work through key findings for both the special use permit and site plan for the proposed Isabella Sheriff's Office and Correctional Facility located on the west side of S. Summerton Rd. and south side of E. Remus Rd. in the northeast quarter of Section 24 and in the AG(Agricultural) zoning district.

**LaBelle** moved **Shingles** supported to set a public hearing for the PSUP20-03 Special Use Permit Application for the new Isabella County Jail and Sheriff's Office to be held during the March 16, 2021 regular meeting. **Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, Lapp, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.**

**E. PSPR21-02 Biggby Coffee final site plan application**

**a. Introduction**

**b. Updates from staff and the applicant**

**c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

Nanney updated that on the proposed Biggby Coffee modular building, drive-through lane, and outdoor seating area in the east parking lot of the former Mid Michigan Community College building at 5805 E. Pickard Rd.

**Buckley** moved **Lapp** supported to approve the PSPR 21-02 final site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 located on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd. in the southeast quarter of Section 12 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the site plan with a revision date of January 6, 2021 fully complies with the applicable Zoning Ordinance requirements for final site plan approval,

including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval). **Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, Lapp, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.**

#### **F. Parks and Recreation Master Plan Update**

A project schedule will be provided by township staff in the March 2021 Planning Commission Packet for review at the March 16, 2021 meeting.

#### **G. Master Plan implementation**

At the 8/18/2020 and the 11/17/20 Planning Commission meetings there was some discussion and a list of potential action plan items were identified:

1. Housing
2. Non-motorized plan
3. Access management plan
4. Water quality
5. Industrial districts
6. Code enforcement
7. Capital improvements program

This topic was added as a recurring Agenda item since August 2020 and will continue to be reviewed. They have had some discussion regarding housing and sidewalks; however, the commissioners were all in agreement that the Census results will be beneficial as they continue discussing all topics.

#### **Extended Public Comment**

Open –8:52 p.m.

Shyan Marar, 3010 S. Summerton – Commented that he is not opposed to the County Jail project; however, he just purchased the property 3-4 months ago and has concerns about: market value, possible noise and light issues, and lastly conveyed the importance of addressing surrounding neighbor's concerns regarding this project.

Closed – 8:58 p.m.

#### **Final Board Comment**

Buckley – Welcomed Tera Albrecht to the Planning Commission

LaBelle – Complemented township staff for the completeness of applications/projects being submitted in the packets.

**Adjournment** – Chairman Squattrito adjourned the meeting at 9:01 p.m.

**APPROVED BY:**

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Alex Fuller - Secretary  
Mike Darin – Vice Secretary

*(Recorded by Jennifer Loveberry)*

DRAFT



**SPECIAL USE PERMIT REPORT**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	March 3, 2021
<b>FROM:</b>	Rodney C. Nanney, AICP Community and Economic Development Director	<b>ZONING:</b>	AG Agricultural District
<b>PROJECT:</b>	PSUP20-03 Special Use Permit Application for the new Isabella County Jail and Sheriff’s Office.		
<b>PARCEL(S):</b>	PID 14-024-20-001-00		
<b>OWNER(S):</b>	Isabella County (purchase agreement); 75000 LLC		
<b>LOCATION:</b>	Approximately 36.26 acres on the west side of S. Summerton Rd. and south side of E. Remus Rd. in the NE 1/4 of Section 24.		
<b>EXISTING USE:</b>	Vacant, farmland.	<b>ADJACENT ZONING:</b>	Agriculture (AG) and Single-Family Residential (R-1); same in Chippewa Twp. to the east.
<b>FUTURE LAND USE DESIGNATION:</b> <i>Rural Buffer</i> - Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas.			
<b>ACTIONS REQUESTED:</b> To open and hold a public hearing to receive any public comments the PSUP20-03 Special Use Permit Application for the new Isabella County Jail and Sheriff’s Office; and then (following the close of the hearing) to postpone deliberation and action on the application per the applicant’s request.			

**Background Information**

Isabella County has determined that it has become necessary to replace the existing jail and Sheriff’s Office adjacent to the County Courthouse in the City of Mt. Pleasant. Concerns about the existing facilities include internal utility infrastructure and HVAC system deficiencies, excessively high maintenance costs, and the need for substantial upgrades to better provide for the health and safety of inmates and county personnel. The county has also determined that rebuilding on the same or an immediately adjacent downtown site is impractical.

**Update from the County.**

On March 2, 2021, the Isabella County Board of Commissioners took formal action to terminate their purchase agreement with the owner of this parcel. Availability of municipal water and municipal sanitary sewer services were noted as concerns. Commissioner Jim Horton, Chair of the Board of Commissioners, confirmed that the property did not meet the needs of Isabella County and that other options for the new facility would be evaluated.

Staff has also received an email from Margaret McAvoy, County Administrator-Controller, formally requesting that the Planning Commission take no further action on the special use permit and preliminary site plan applications.

**Recommendation for the Public Hearing.**

The public hearing for this application should be held as scheduled because the required notices had already been mailed and published well before this request was received. The hearing should be opened in the normal manner and any members of the public in attendance should be invited to speak. Following the conclusion of public input and closure of the hearing, a motion like the sample one below to postpone deliberation and action on the application would be in order:

**Motion to postpone deliberation and action on the PSUP20-03 Special Use Permit application for the new Isabella County Jail and Sheriff's Office on parcel 14-024-20-001-00 per the applicant's request and until the Township receives further communication from the applicant establishing a date certain for consideration of this application.**

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

***Rodney C. Nanney, AICP***

Community and Economic Development Director

## REZONING REPORT

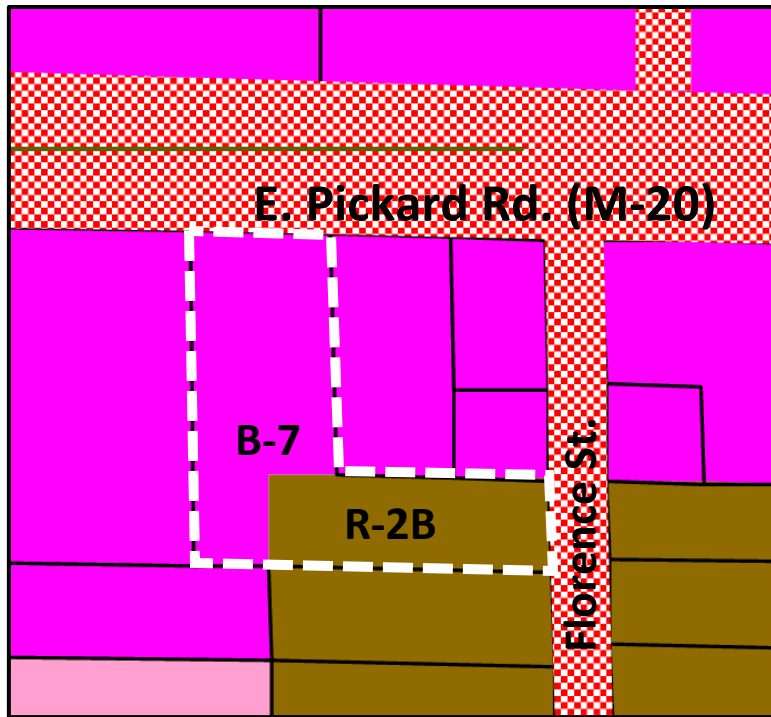
<b>TO:</b>	Planning Commission	<b>DATE:</b>	March 8, 2021
<b>FROM:</b>	Rodney C. Nanney, AICP, Community and Economic Development Director	<b>ZONING:</b>	B-7 and R-2B
<b>PROJECT:</b>	PREZ21-01 Request to rezone a parcel that is currently split zoned B-7/R-2B to the B-7 (Retail and Service Highway Business) District, which would accommodate the development of a commercial project.		
<b>PARCEL(S):</b>	5048 E. Pickard Rd. PID 14-146-00-003-00		
<b>OWNER(S):</b>	Nantelle, Bonnie		
<b>LOCATION:</b>	1.16 acres on the south side of E. Pickard Road and west side of Florence Street in the NW 1/4 of Section 13.		
<b>EXISTING USE:</b>	Existing residential dwelling.	<b>ADJACENT ZONING:</b>	B-7, R-2B
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Retail/Service</i> . This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well managed access.		
<b>ACTIONS REQUESTED:</b>	To hold a public hearing and to recommend that the Board of Trustees [APPROVE] [DENY] the proposal to rezone the easterly 79.0-foot by 240.47-foot portion of the 1.16-acre parcel at 5048 E. Pickard Road (PID #14-146-00-003-00) located on the south side of E. Pickard Road and west side of Florence Street from R-2B (One and Two Family, Medium Density Residential District) to B-7 (Retail and Service Highway Business District) per Section 14.5 (Amendments).		

### Background Information

There are currently no purchase agreements for the parcel or announced commercial development plans for the parcel. The owner has received interest from varying developers for the parcel. The owner is requesting a rezone of the property to further develop these varying commercial interests in advance of a potential sale.

#### Existing Zoning

The following is an excerpt from the Township's Official Zoning Map showing the subject parcel, existing zoning district arrangement, and surrounding zoning:



### **Review Comments**

In reviewing any proposed amendment to the Official Zoning Map, the Planning Commission is required by Section 14.5.G. of the Zoning Ordinance to *“identify and evaluate all relevant factors in preparing its report of findings of fact, conclusions, and recommendation to the Township Board.”* This Section includes a set of factors to consider, which are summarized below in the bold headings. These criteria are one of the new features of Zoning Ordinance No. 20-06. Staff comments follow under each heading:

#### **Findings of Fact (Section 14.5.G)**

##### **1. Evaluation of existing and proposed zoning districts.**

- a. Parcels in this area that abut E. Pickard Road are zoned B-7 while parcels behind or to the south are zoned R-2B.
- b. This area is in the East Downtown Development Authority District of the Township.
- c. A parcel that is split zoned at times can be advantageous for a developer. An example would be a parcel with the frontage zoned for a commercial use and the remaining rear available for residential. However, if the portion of the parcel zoned R-2B is likely to be used for stormwater retention this could impede the type of development constructed on the B-7 portion. In addition, the existing R-2B zoning arrangement creates a conflict with having sufficient lot depth from E. Pickard Rd. to accommodate commercial development of the B-7 portion of the parcel.
- d. The existing portion of the parcel zoned B-7 is currently large enough in area, but does

not meet the minimum width requirement. Section 12.3.A. (Use of Nonconforming Lots) confirms that the lot can lawfully be developed for commercial uses “*even though such lot fails to meet the requirements for (lot) width....*”

- e. The portion of the parcel currently zoned R-2B is wide enough and large enough in area to be a separate R-2B district parcel.

2. **Apparent demand.**

- a. This area of the Township has many B-7 zoned parcels along E. Pickard Road primarily east of S. Isabella Road. Aside from the Township initiated rezoning of a number of B-6 parcels to B-7 as part of the new Zoning Ordinance adoption, there have not been any requests to rezone property to B-7 in the past year.
- b. Specific development plans for this parcel are unknown currently, and are not relevant to the rezoning proposal. Any new development would be required to conform to the requirements of the B-7 District if the rezoning is approved.
- c. The B-7 district is the predominant business district for commercial uses along E. Pickard Road.

3. **Availability of public services and infrastructure.** *Rezoning of undeveloped land to a more intensive zoning district should only take place in conjunction with the availability of public service and infrastructure to serve all of the allowable land uses in the proposed district.*

- a. The current location has existing utilities to accommodate the allowable uses in a B-7 District. The rezoning of the portion of the parcel from R-2B to B-7 would not compromise the health, safety and welfare of Township residents or burden public entities.
- b. The existing location has sufficient access on E. Pickard Road to accommodate anticipated traffic generated by uses permitted in the B-7 District.
- c. The parcel has additional frontage on Florence Street, but use of this area for vehicle parking or a secondary vehicle access will not be an option due to high potential for headlight glare impacts on the immediate residence across the street. This would be addressed through the site plan approval process and the access management limitations found in Section 9.6 of the Zoning Ordinance.
- d. The Township is currently serviced by the Isabella County Sherriff, Mt. Pleasant Fire Department, Isabella County Transportation Commission, Isabella County Road Commission, and Mt. Pleasant Public Schools. All of these public services would be able to serve all potential uses on a B-7 parcel.

4. **Consistency with the Master Plan.**

- a. “*Determine whether the intent and all of the allowable uses within the requested zoning district are compatible with the goals, objectives, and policies of the Master Plan, including the future land use designation(s) for the site.*”

- 5048 E. Pickard Road in its entirety is designated on the Master Plan’s Future Land Use map as “Retail/Service.” The Master Plan intends for the B-7 to be the preferred zoning in Retail/Service designated areas.
  - b. *“A rezoning inconsistent with the Master Plan should only be considered where specific findings are made that demonstrate conditions have changed significantly since the Plan was prepared, and/or new information supports a change. In such cases, the Township may first consider an amendment to the Plan.”*
    - The rezoning request is consistent with the Master Plan
  - c. *“The future land use recommendations of the Master Plan are based upon a ten- to twenty-year timeframe. Consider whether the timing of the proposed rezoning is appropriate, given trends in the area, infrastructure capacity, and other factors.”*
    - Based on trends in the area, availability of public infrastructure, the timing of this rezoning proposal is appropriate for consideration.
5. **Additional factors.**
- a. No adverse impacts on physical, geological, hydrological, historical or archeological features are anticipated by the proposed rezoning or development of the lot consistent with Zoning Ordinance requirements.
  - b. This amendment will not create any special privilege.
  - c. The amendment will not result in unlawful exclusionary zoning.
  - d. The amendment will not set an inappropriate precedent.

### Objective

Following the public hearing the Planning Commission shall review the rezoning application and then make a recommendation to the Board of Trustees. The Planning Commission may take any of the following actions related to the rezoning request:

1. Recommend approval of the zoning change as proposed by the applicant to place the entire parcel to the B-7 District; or
2. Recommend that the proposed rezoning be rejected (to retain the existing split B-7/R-2B zoning classifications).

### Key Findings

1. The subject site is located in the East DDA District, and is the only parcel in the along E. Pickard Road that is split-zoned R-2B and B-7.
2. This rezoning is fully consistent with the Master Plan’s goals, objectives, and policies for the Retail/Service area as designated on the Future Land Use map.
3. Depending on the developer or the specific development project, a split-zoned parcel

between business and residential could be seen as an advantage or an obstacle.

4. The proposed rezoning will not create any special privilege, result in unlawful exclusionary zoning or set an inappropriate precedent.

### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to recommend that the Board of Trustees approve the proposal to rezone the easterly 79.0-foot by 240.47-foot portion of the 1.16-acre parcel at 5048 E. Pickard Road (PID #14-146-00-003-00) from R-2B (One and Two Family, Medium Density Residential District) to B-7 (Retail and Service Highway Business District).

Please contact me at (989) 772-4600 ext. 241, or via email at [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

***Rodney C. Nanney, AICP***

Community and Economic Development Director

February 15, 2021

Planning Commission  
Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

**RE: Request for Zoning Map Amendment**  
**5048 E Pickard Rd**  
**Parcel ID 14-146-00-003-00**  
**Current Zoning: Currently Split (B-7 and R-2B)**  
**Proposed Zoning: B-7**

Dear Commissioners:

The current owners of the above parcel are seeking to amend the zoning map such that the entire parcel is similarly zoned. Recent commercial interest in the parcel has brought this item to the forefront to be addressed and the owners are needing to resolve this to move forward with the interested developers. At this time, there are no purchase agreements nor preliminary site plans to share. The interest by varying developers in this parcel demonstrates that there is a market demand for this type of commercial property and it is the intent of this application to clean up the inconsistency of the parcel zoning.

The attached exhibits 1 through 4 identify the parcel location. The parcel is an "L" shaped lot with frontage on Pickard and on Florence Street (See **Exhibit 4**). The leg of the "L" that abuts Pickard is currently zoned B-7 and has a small house on it. The leg of the "L" that abuts Florence is currently zoned R-2B and is vacant. It is the intent of this application to amend the zoning map to change the leg of the "L" that abuts Florence to be B-7.

To aid in discussions, we will use two distinct terms to differentiate between the portion of the parcel that is zoned B-7 and that which is zoned R-2B. These terms are only for the purpose of identifying the two zoning districts. The parcel currently exists as one tax ID number and is approximately 1.1 acres in size.

- **Parcel Area A1**
  - The portion of the parcel that is zoned B-7.
  - Abuts Pickard and is adjacent to other commercial including Burger King to the west along Pickard, a vacant parcel followed by a party store at the corner of Florence and Pickard.
  - Zoned B-7 Across Pickard with commercial uses.
  - Approximately 30,000 sf
  - Master Plan Zoning: Community Commercial
  - Proposed Zoning: Unchanged
- **Parcel Area A2**
  - The portion of the parcel zoned R-2B
  - Abuts Florence Street and is adjacent to a house on R-2B to the south and a house located on B-7 to the north.
  - Zoned R-2B across Florence Street and a house is located on the parcel
  - Approximately 19,000 sf.
  - Master Plan Zoning: Community Commercial



- Master Plan Zoning: Community Commercial
- Proposed Zoning: B-7

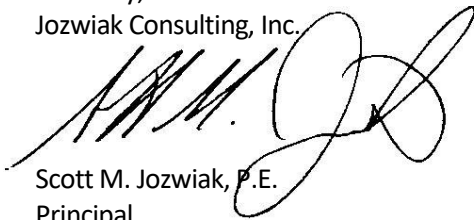
**Exhibit 5** depicts the location of the transition between the two zoning districts. Parcel Area A2 (R-2B district) carves out a square from Parcel Area A1 (B-7 district). This results in underutilization of the parcel and causes some challenges in developing the property to the fullest as it severely narrows the parcel over the last 80’.

The goal of our submittal is to increase the overall development efficiency of the parcel by allowing the entire parcel to become B-7 zoned. The future land use map (**Exhibit 6**) shows this entire parcel as commercial so the approval of this zoning change is directly aligned with the master plan. The requested amendment will result in all parcels between Florence and Isabella Road matching the master plan and future land use map (see **Exhibit 7** and compare with **Exhibit 6**).

Zoning Administrator Peter Gallinat suggested that we prepare an exhibit (**Exhibit 8**) to review if the two parcel areas can stand alone meaning if there was a property line established at the zoning intersect, would the resulting parcels be in compliance with zoning regulations for that district. This exhibit demonstrates that they would be in compliance.

In addition to the attached exhibits, we have included our responses to the Findings of Fact (Section 14.5 G of the zoning ordinance), a signed application, fee and the survey plan. We look forward to presenting our zoning map amendment request at your March planning commission meeting. If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,  
Jozwiak Consulting, Inc.

A handwritten signature in black ink, appearing to read 'S.M. Jozwiak', written over a horizontal line.

Scott M. Jozwiak, P.E.  
Principal

## Charter Township of Union

### APPLICATION FOR REZONING APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.5 (Amendments); including:

- Response to Rezoning Criteria (Section 14.5 G.)
- Vicinity Map and Survey/Drawing (Section 14.5.F.1.d.)

Name of Proposed Development/Project		5048 E. Pickard Rezone	
Common Description of Property & Address (if issued)		5048 E. Pickard Rezone	
WARDS VIEW SUB LOT 25 AND LOT 4 EXC E 20 FT AND E 59.77 FT OF LOT 3 AND E 59.77 FT OF LOT 16			
Applicant's Name(s)		Bonnie Nantelle, Trustee	
Phone/Fax numbers	989-492-8234	Email	office@midmichiganinsurance.com
Address	6400 E. Blanchard Rd	City:	Shepherd Zip: 48883

Legal Description:	<input type="checkbox"/> Attached <input checked="" type="checkbox"/> Included on Survey	Tax Parcel ID Number(s):	14-146-00-003-00
Existing Zoning:	Split	Land Acreage:	1.16 Existing Use(s): Residential
<input checked="" type="checkbox"/> ATTACHED: Letter describing the proposed land uses and reasons for the requested zoning change.			

Firm(s) or Individuals(s) who prepared the Land Survey/Drawing	1. Name:	Landtech	Phone:	231-943-0050	Email:	petep@landtechps.com
	2. Address:	PO Box 193				
	City:	Grawn	State:	MI	Zip:	49637
	Contact Person:	Pete Prokop	Phone	231-943-0050		
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	Bonnie Nantelle	Phone:	989-492-8234		
	Address:	6400 E. Blanchard Rd				
	City:	Shepherd	State:	MI	Zip:	48883
	Signature:	<i>Bonnie L Nantelle</i>	Interest in Property:	owner/lessee/other		
	2. Name:	Bonnie Nantelle	Phone:			
	Address:	6400 E. Blanchard Rd.				
City:	Shepherd	State:	MI MI	Zip:	48883	
	Signature:	<i>Bonnie L Nantelle</i>	Interest in Property:	owner/lessee/other		

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for rejection of the application. Approval of any requested zoning change shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

*Bonnie L Nantelle*  
Signature of Applicant

February 10th, 2021  
Date

**Office Use Only**

Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

## Findings of Fact (Owner Provided)

1. Evaluation of existing and proposed zoning districts. Consider the following factors:
  - a. Compatibility of existing zoning, proposed zoning, and all land uses allowed in each zoning district with site characteristics, Master Plan policies, the intent and purposes of the existing and proposed districts, and anticipated land use impacts on the surrounding area and anticipated future development.
    - The currently described parcel consists of split zoning. The portion along M-20 (Parcel Area A1 for reference) is zoned B-7 and the portion along Florence Street (Parcel Area A2 for reference) is zoned R2B. Parcel Area A2 abuts both B-7 and R2B so this will not result in a spot zoning.
  - b. Compatibility of the boundaries, size, and arrangement of the existing and proposed zoning districts with the surrounding area and anticipated future development.
    - Parcel Area A2, the proposed rezone area, is located adjacent to a B-7 zoned parcel to the north, which allows for a continuation of same zoning. The proposed rezoning will allow for future development to be consistent with the surrounding area, in both scope and size.
  - c. Whether there are conditions or circumstances that warrant a change or reasonably prevent the site from being developed or used as currently zoned.
    - Due to the split zoning of the Parcel, future uses on the parcel are difficult to achieve as it is currently arranged. The ability to compose the site of a structure, necessary parking and stormwater retention are impeded by the R2B zoning across a significant portion and prohibits proper site development.
2. Apparent demand. Consider the following factors:
  - a. Apparent demand for the types of uses permitted in the existing and proposed zoning districts in relation to the amount of land currently zoned and available in the Township and surrounding communities to accommodate the demand.
    - Commercial properties in the area have seen an increase in need as is demonstrated by the recent interest in this parcel. The corridor along Pickard is zoned commercial and we are not asking for a change to this. The effect of the residentially zoned portion (Parcel Area A2) is problematic because it detracts from the salability of the parcel. This is due to the infringement of Parcel Area A2 onto A1 which narrows and reduces the ability to fully develop the site which is a deterrent to developers.
  - b. Whether there is a demonstrated market demand for more land to be classified in

the proposed district, and whether this is the appropriate location.

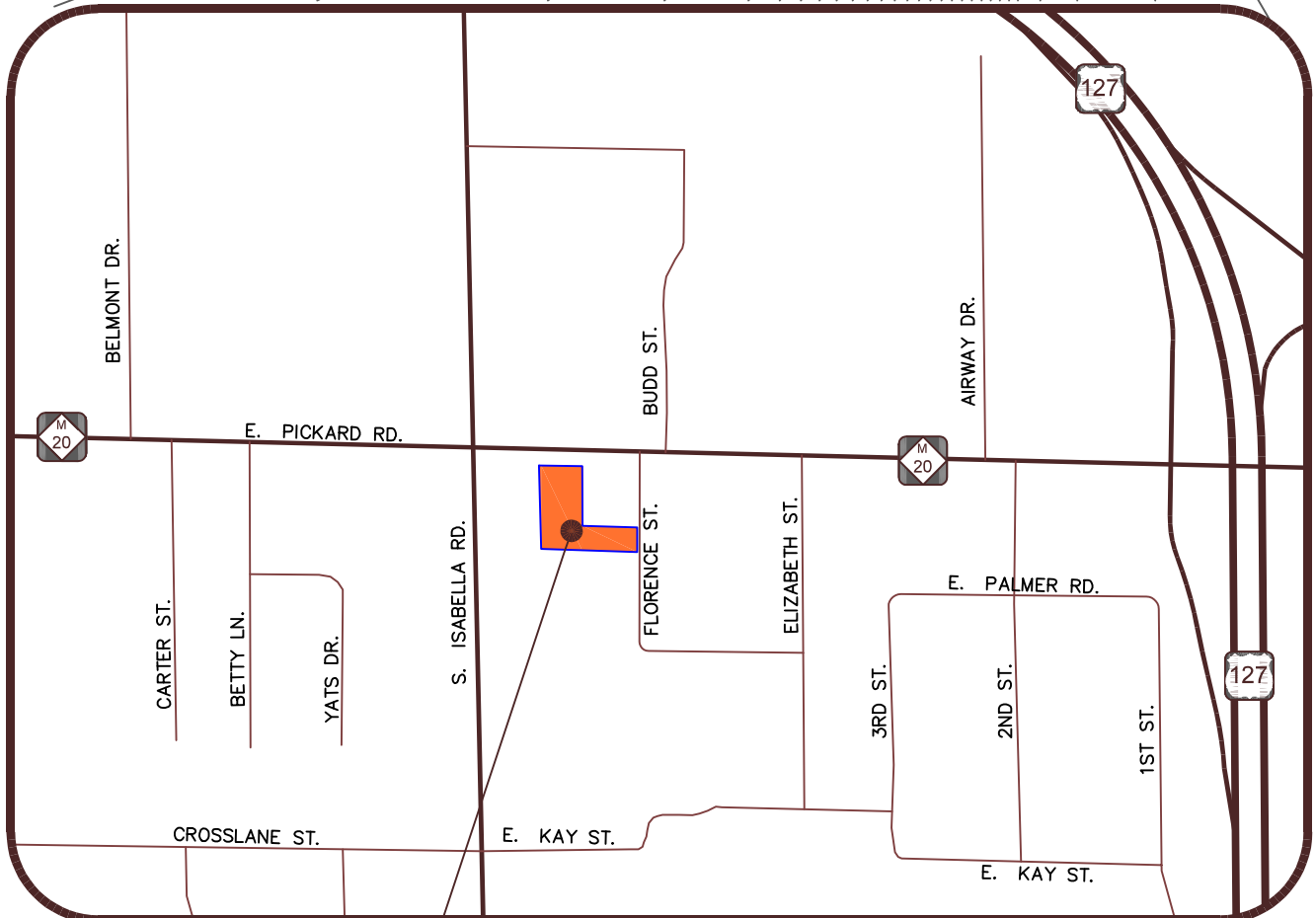
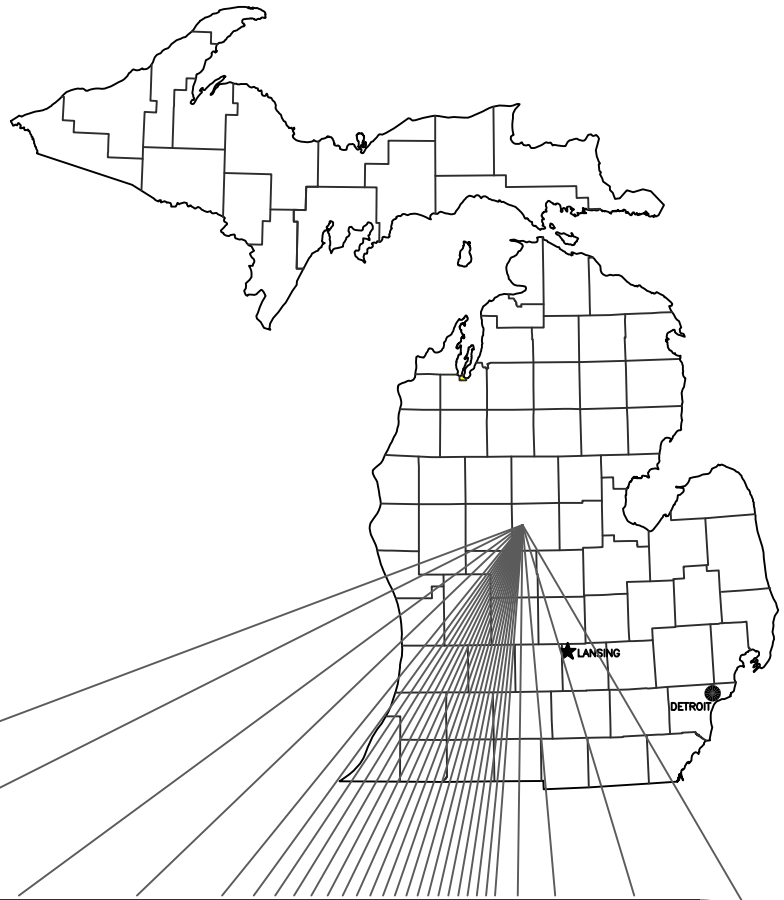
- As mentioned above, there is a demand for this parcel. Because the majority of the parcel is currently zoned commercial, this amendment is to remove the split zoning which allows for a more efficient use of the land. This is an appropriate location for this change as it follows the Master Plan and is also now a sought after parcel.
- c. Availability of land already planned and/or zoned for the types of land uses and intensity of development possible under the proposed zoning district classification.
- This parcel is an available piece of commercially zoned property. The planned amendment removes the split zoning which is a deterrent for interested developers.
- d. The amount of land in the Township or adjoining jurisdictions that is already prepared and/or ready for development consistent with the proposed zoning district's intent and list of permitted land uses.
- We are unfamiliar with the amount of land in the region that is available but we are aware that the demand along the M-20 corridor at this location is in demand and is available. As mentioned above, our intent is to remove the split zoning and change the parcel to commercial as is directed by the Master Plan future zoning.
3. Availability of public services and infrastructure. Rezoning of undeveloped land to a more intensive zoning district should only take place in conjunction with the availability of public services and infrastructure to serve all of the allowable land uses in the proposed district. Factors to consider include:
- a. Capacity of available utilities and public services to accommodate the uses permitted in the district without compromising the health, safety, and welfare of Township residents or burdening public entities or the Township with unplanned capital improvement or operational costs.
- The rezoning of the portion of land in R2B will not compromise the proper growth of the township. The proposed change follows the future land use map and will allow for better utilization of the parcel already zoned B-7. The change in zoning does not mean it creates a new parcel for development but rather achieves good design elements for the parcel of which a portion is already zoned B-7. This does not create any additional burden to the Township but merely addresses a situation in which a parcel is split-zoned.
- b. Capacity of the existing road system to safely and efficiently accommodate the expected traffic generated by uses permitted in the zoning district.
- The parcel is already comprised of a section in B-7, as are the surrounding parcels, the proposed rezone of portion of the land does not increase the

burden of traffic. The site is accessed by M-20, a state highway, designed for the capacity of the zoning along this stretch. The split zoning precludes the use Parcel Area A2

- c. Capacity of existing police, fire, ambulance, schools, and other public services to serve all potential land uses on the site.
  - Rezoning Parcel Area A2 will *not* create a new parcel that may expand the needs of the community. Rather, it allows for the existing parcel, already a portion zoned B-7, to provide a developable site on one master parcel.
4. Consistency with the Master Plan. Consider the following:
  - a. Determine whether the intent and all of the allowable uses within the requested zoning district are compatible with the goals, objectives, and policies of the Master Plan, including the future land use designation(s) for the site.
    - The requested zoning change to B-7 is consistent with the Master Plan, adopted in 2018. The Master Plan has defined this area as Community Commercial. The intent of the Community Commercial is provide a cluster of commercial uses that are along the M-20 corridor, limiting urban sprawl.
  - b. A rezoning inconsistent with the Master Plan should only be considered where specific findings are made that demonstrate conditions have changed significantly since the Plan was prepared, and/or new information supports a change. In such cases, the Township may first consider an amendment to the Plan.
    - This is not applicable. The proposed rezoning is consistent with the Master Plan.
  - c. The future land use recommendations of the Master Plan are based upon a ten-to twenty-year timeframe. Consider whether the timing of the proposed rezoning is appropriate, given trends in the area, infrastructure capacity, and other factors.
    - The rezoning of this portion of land follows the trend of the commercial use of parcels in this area, while limiting the need on infrastructure as a portion of the Parent Parcel already meets the current and future zoning district of the area. The rezoning achieves the goal of the Master Plan without placing an untimely burden on the system.
5. Additional factors. Additional factors to consider include, but shall not be limited to:
  - a. Are all allowable uses and development allowed in the proposed zoning district compatible with physical, geological, hydrological, historical, and archeological features of the site and area, and any applicable laws governing their protection or preservation?
    - Allowable uses for the B-7 zoning are defined in the Zoning Ordinance and Master Plan (adoption in 2018) are for light / community commercial

uses, such as retail. This allows for the containment of commercial development within the designated corridor. The area is well-drained and does not impact geological or hydrological features noted outside of this area, within the Township. Due to the surrounding uses (commercial) developed over the years, the change is not a factor with the historical nature nor are archaeological features identified with the portion of land. There are no additional governance of the land, other than the required municipal Soil Erosion and Stormwater Ordinances.

- b. Have conditions changed since the Zoning Ordinance was adopted or was there a mistake in the Zoning Ordinance that justifies the amendment?
  - It is not apparent that this is a mistake or change but rather a portion of land, already tied to another portion of land on the same Parent parcel was not zoned the same. This proposed rezoning corrects the split zoning condition that was created some time in the past.
  
- c. Will the amendment correct an inequitable situation created by the Zoning Ordinance, rather than merely grant special privileges?
  - Since the Parent Parcel is divided by split zoning (non-compatible zoning districts), this situation is unique and does not create any “special privileges” to the area.
  
- d. Will the amendment result in unlawful exclusionary zoning?
  - Since this parcel was master planned to be commercial, it is unrealistic that this is an issue.
  
- e. Will the amendment set an inappropriate precedent, resulting in the need to correct future planning mistakes?
  - Our opinion is that this issue is not relative to a mistake but merely the result of executing the Master Plan which is the purpose of preparing a Master Plan in the first place.

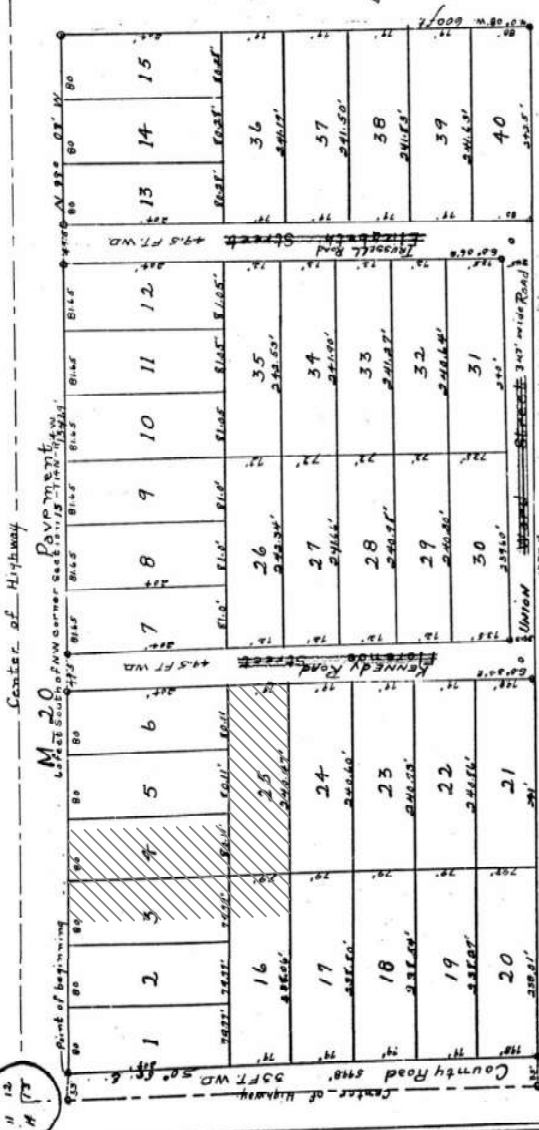


SUBJECT PARCELA

EXHIBIT 1  
VICINITY MAP



# PLAT OF WARDS VIEW SUBDIVISION Being Part of NW 1/4 of NW 1/4 of Section 13 T 4 N R 17 W M 26 UNION TOWNSHIP - ISABELLA COUNTY - MICHIGAN



**CERTIFICATE OF MUNICIPAL APPROVAL.**  
This plat was approved by the Township Board of the Township of Union at a meeting held Dec 8 1926.  
Clerk. *Gula Dean*

**CERTIFICATE OF APPROVAL BY COUNTY BOARD.**  
This plat was approved on the 25th day of January 1927.  
Judge of Probate  
*Frank D. Smith*  
County Clerk  
*Blount Fairbairn*  
County Treasurer

**CERTIFICATE AS TO STATE TRUNK LINE OR FEDERAL AIDED ROADS.** We hereby certify that the said plat appears to include land located on a trunk line or federal aided road  
Examined and approved 1926. *Henry D. Van Noy*  
State Highway Commissioner

RESOLVED BY RESOLUTION  
OF THE BOARD  
JANUARY 24 - 1927  
VOUCHER No. 100-582

**COUNTY TREASURERS CERTIFICATE RELATING TO TAXES.**  
Office of County Treasurer, Isabella County. I hereby certify that there are no tax liens or titles held by the State on lands described below and there are no tax liens or titles held by individuals on said lands, for five years preceding the 28th day of December 1926, and that the taxes for a period of five years are paid, as shown by the records of this office.  
*Blount Fairbairn*  
County Treasurer

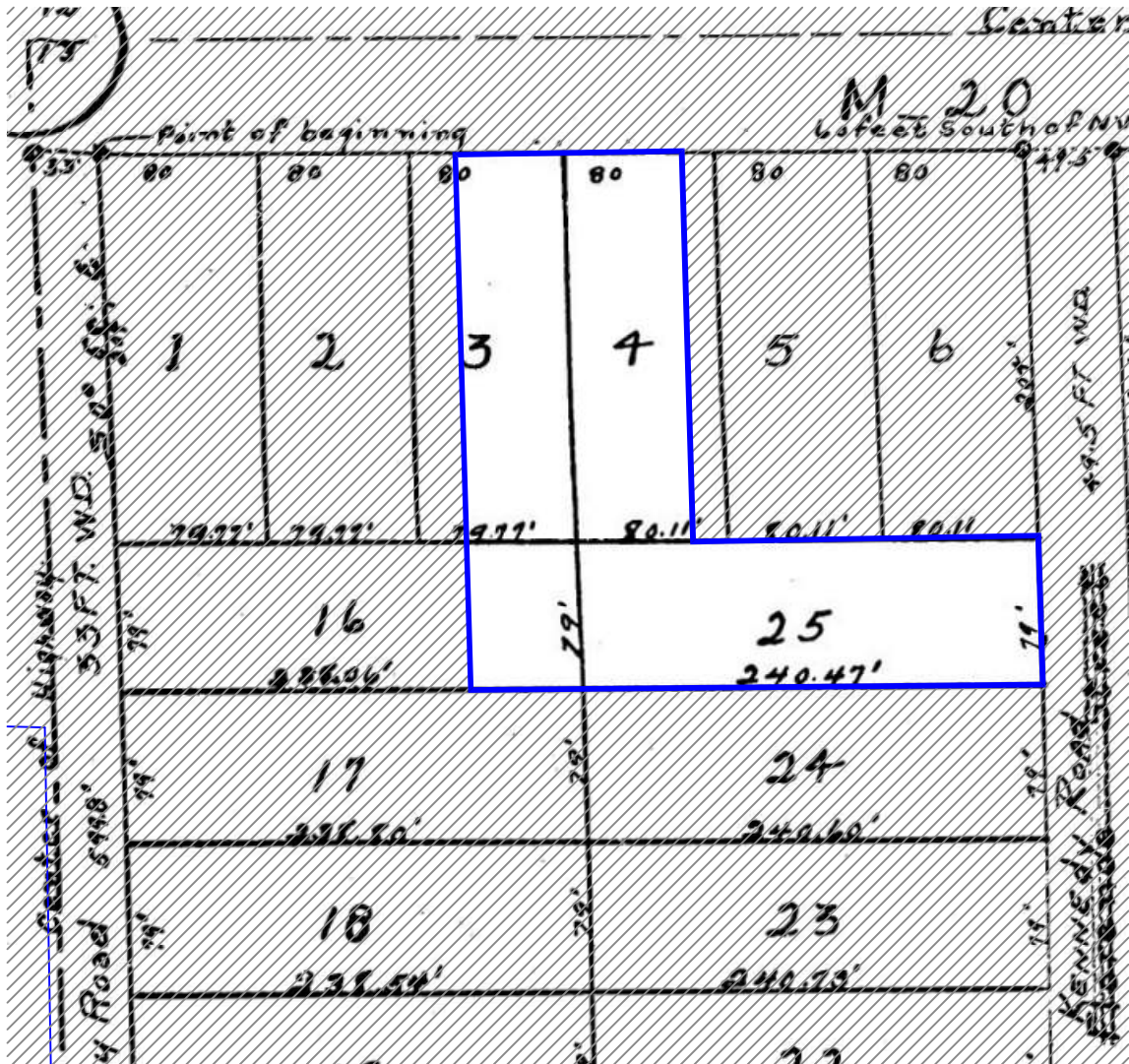
3/21/27  
*James J. Gunn*  
3/21/27  
*James J. Gunn*  
3/21/27  
*James J. Gunn*  
26th  
37  
430  
1927  
3  
1927  
*High V. Sinclair*

**DEDICATION - KNOW ALL MEN BY THESE PRESENTS.**  
That I, ARTHUR NWARD, a widower, as proprietor here caused the land embraced in the annexed plat to be surveyed, laid out and platted to be known as Wards View Subdivision, and that the streets and alleys shown on said plat are hereby dedicated to the use of the public.  
*Arthur Nward*  
Witness My Hand and Seal  
this 15th day of March, 1927.

**STATE OF MICHIGAN 355**  
County of Isabella  
On this 15th day of March, AD 1926, before me a Notary Public in and for the said county personally came the above named Arthur Nward, a widower, known to me to be the person who executed the above dedication, and acknowledged the same to be his free act and deed.  
*Henry R. Taylor*  
Notary Public, Isabella County  
My Commission expires  
Sept. 26, 1927

**SURVEYORS CERTIFICATE.**  
I hereby certify that the plat hereon is correct one and that permanent metal monuments of not less than one inch in diameter and fifteen inches in length set in a concrete base of at least four inches in diameter and forty-eight inches in depth have been set at points marked thereon as shown at all the angles in the boundaries of the land platted, at all the intersections of streets, intersections of alleys or of streets and alleys, and at the intersections of streets and alleys with the boundaries of the plat as shown on said plat.  
*E. F. Gunn*  
Registered Surveyor





TAX DESCRIPTION

T14N R4W SEC 13

WARDS VIEW SUB LOT 25 AND LOT 4 EXC E 20 FT AND E 59.77 FT OF LOT 3 AND E 59.77 FT OF LOT 16 . DESCRIPTION EDITED PER ASSR 10-30-08

EXPLAINED DESCRIPTION

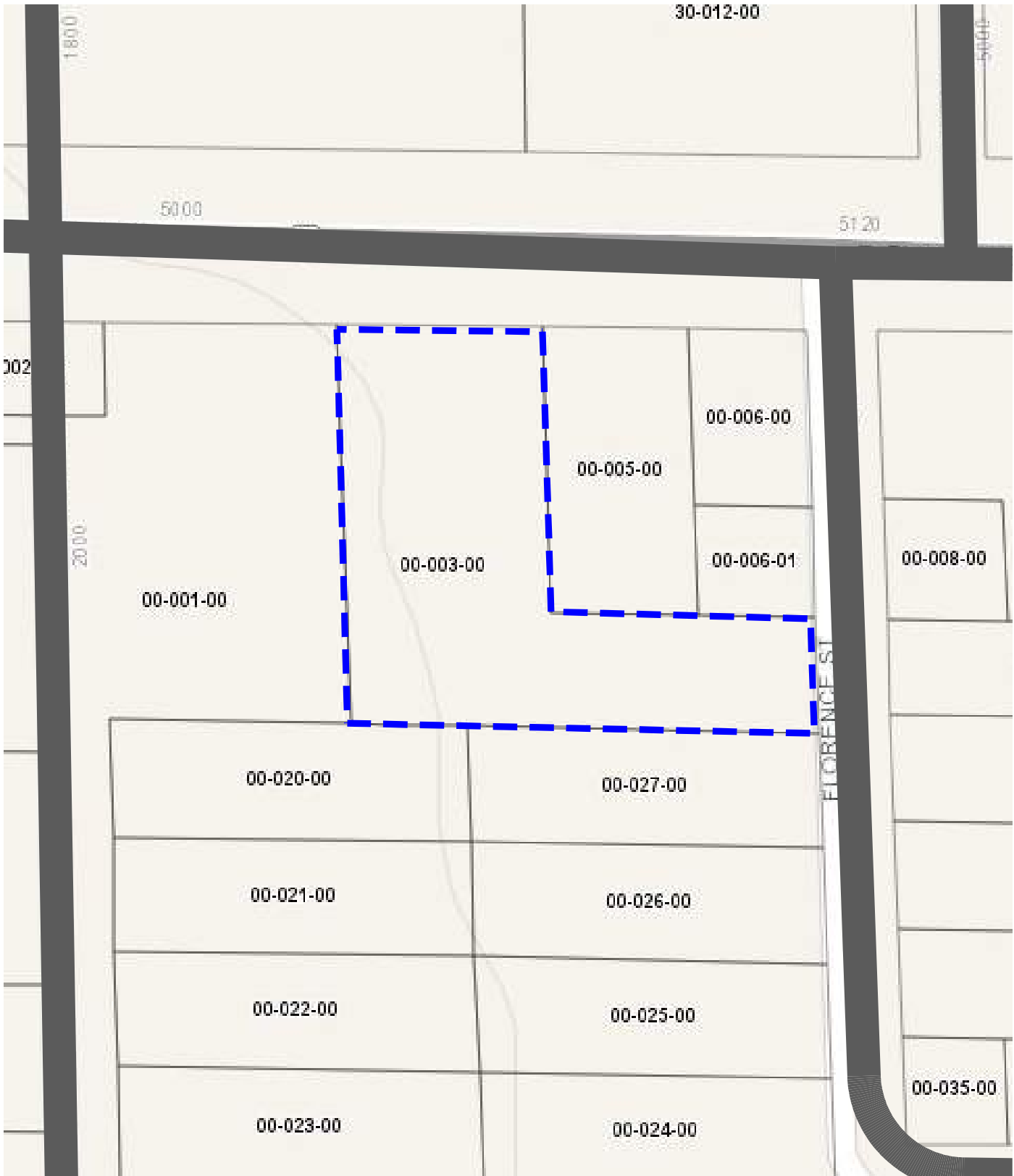
ALL OF LOT 25

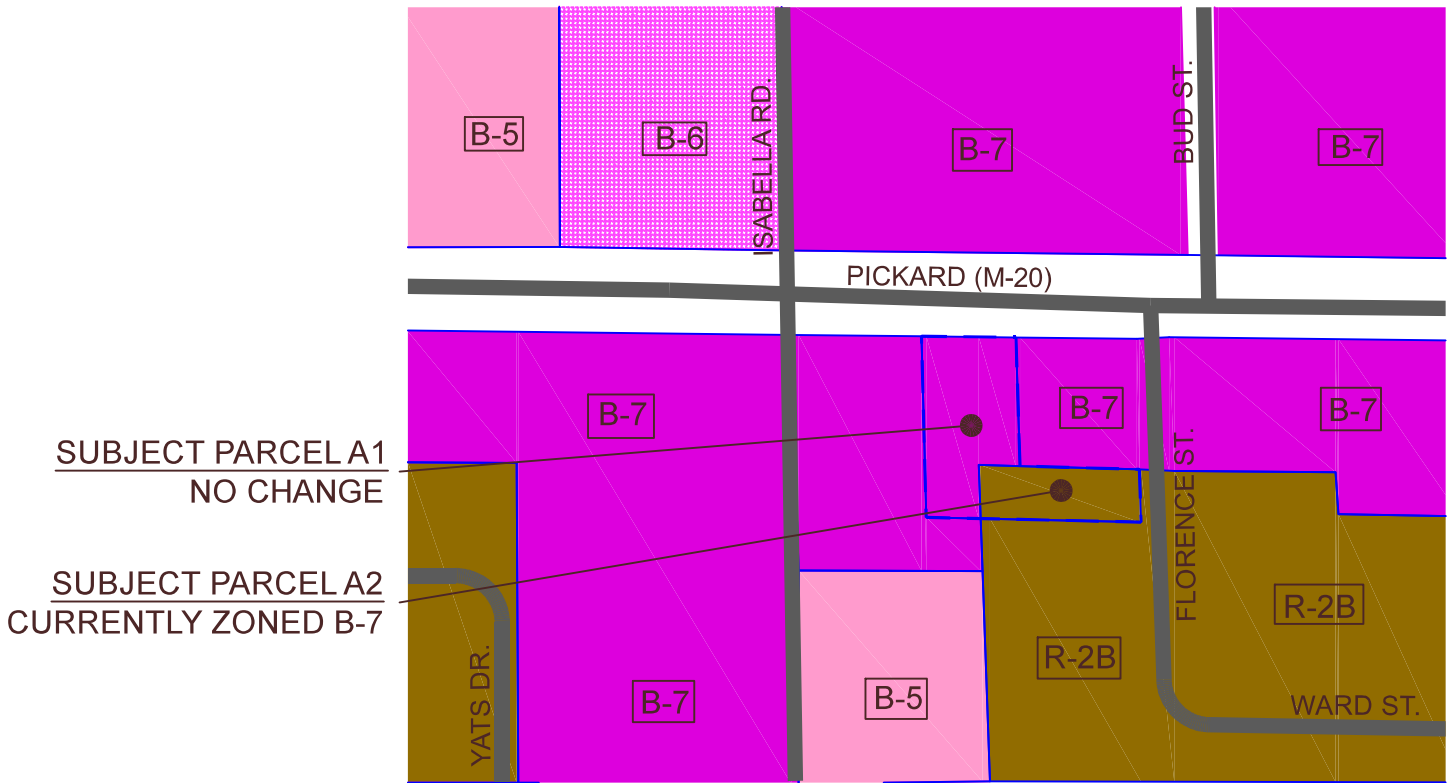
ALL OF LOT 4 EXCEPT FOR THE EAST 20 FT

THE EAST 59.77 FT OF LOT 3

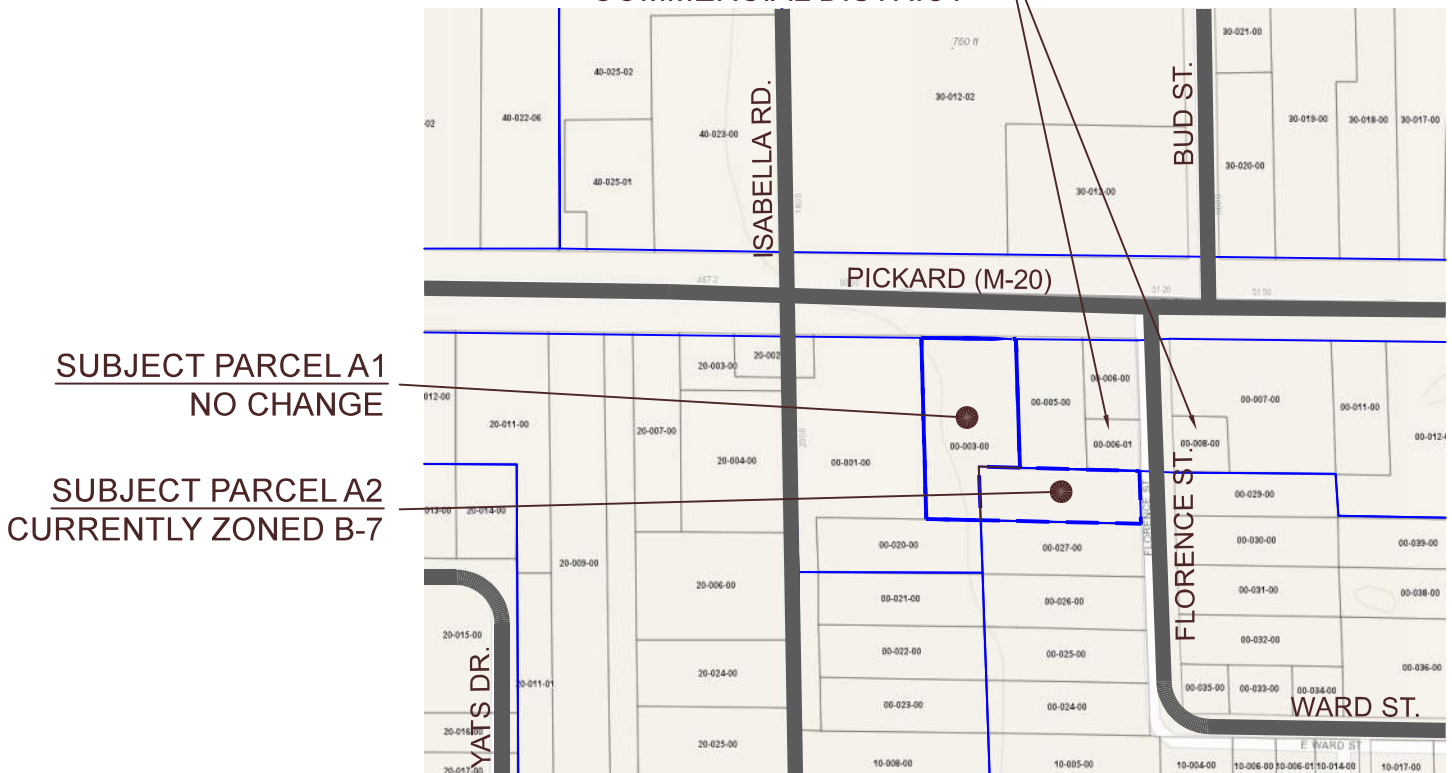
THE EAST 59.77 FT OF LOT 16

EXHIBIT 3  
ENLARGED PLAT OVERLAY

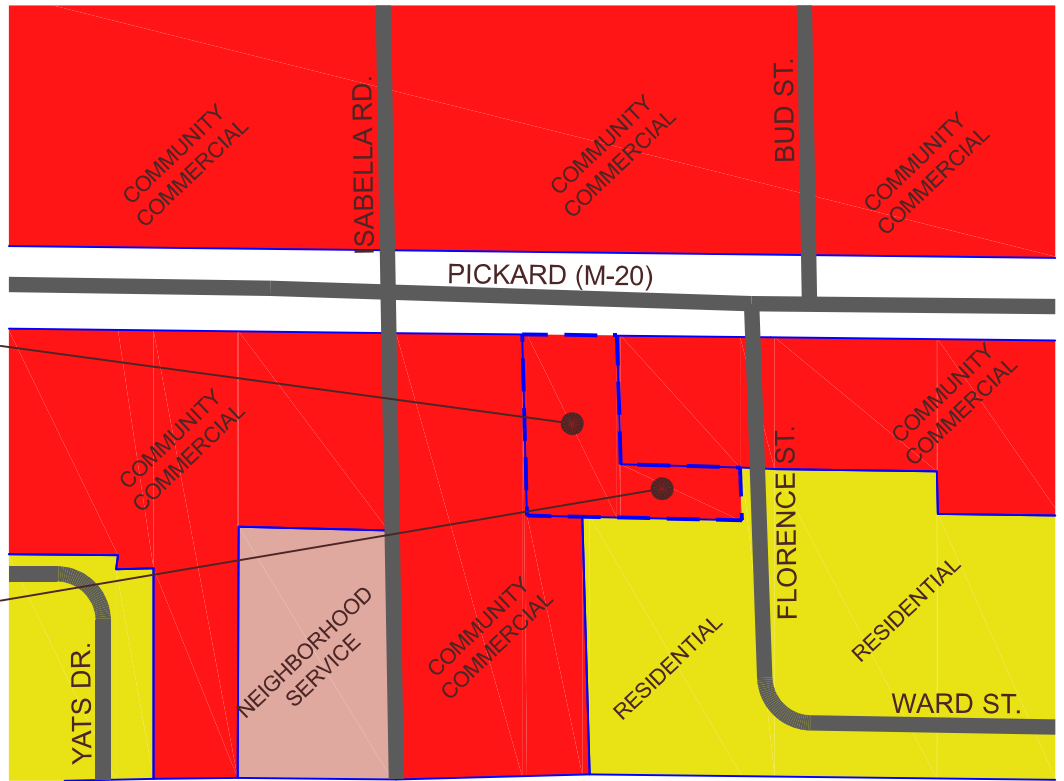




CURRENTLY A  
RESIDENTIAL USE IN A  
COMMERCIAL DISTRICT

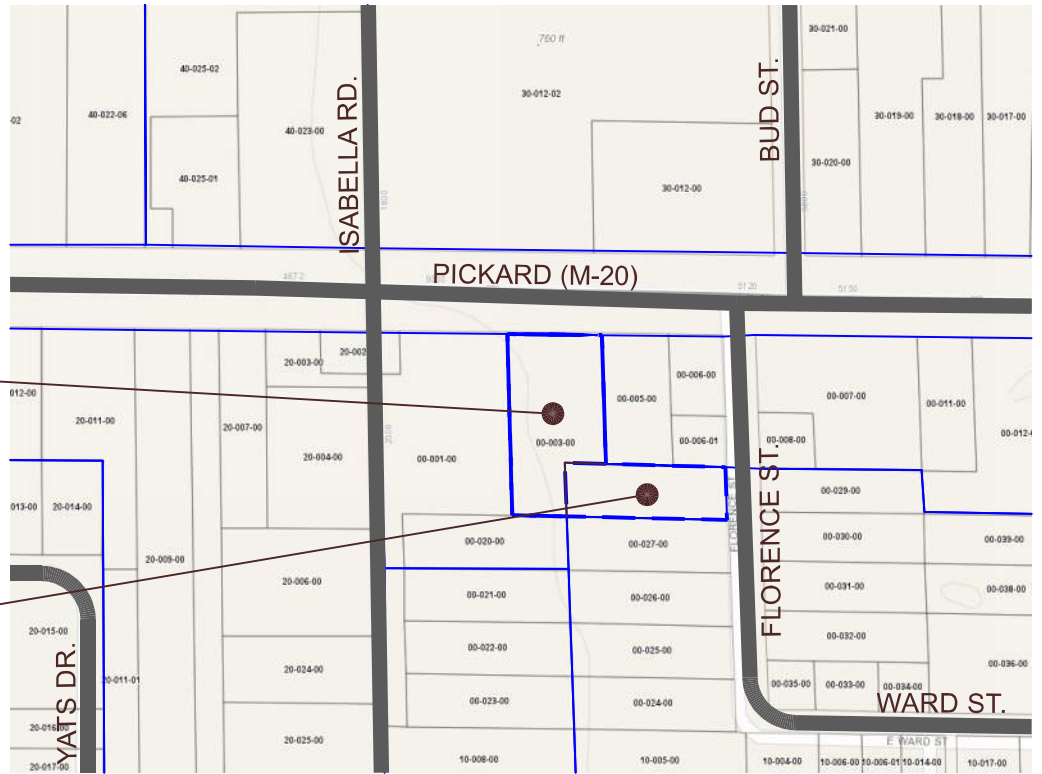


ACCORDING TO FUTURE LAND USE MAP, THE ENTIRETY OF SUBJECT PARCEL A IS TO BE COMMERCIAL



SUBJECT PARCEL A1  
NO CHANGE

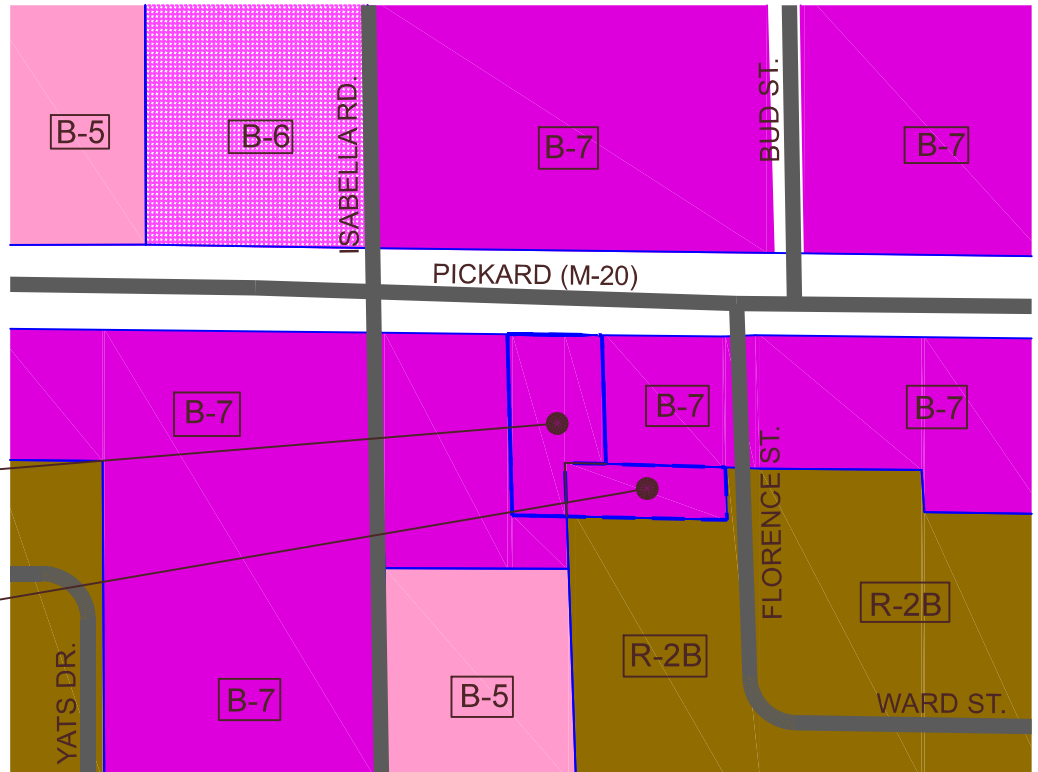
SUBJECT PARCEL A2  
FUTURE ZONING LISTED AS  
COMMUNITY COMMERCIAL



SUBJECT PARCEL A1  
NO CHANGE

SUBJECT PARCEL A2  
FUTURE ZONING LISTED AS  
COMMUNITY COMMERCIAL

CHANGING PARCEL A2 TO COMMERCIAL FOLLOWS THE FUTURE LAND USE MAP.

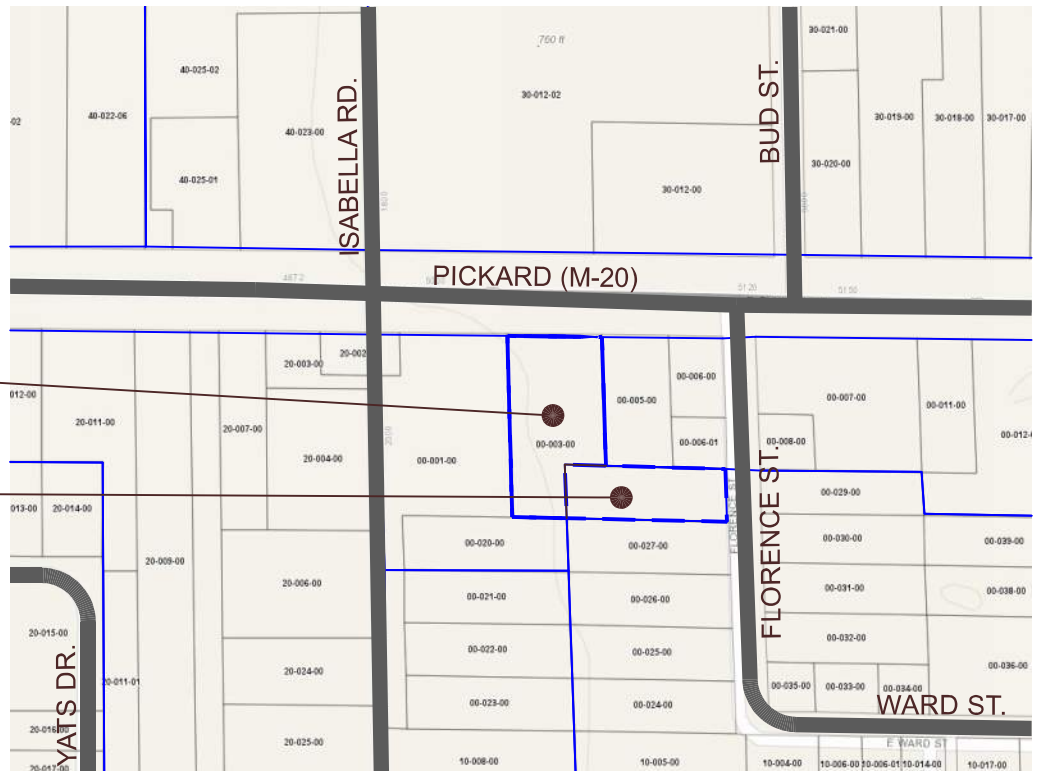


SUBJECT PARCEL A1  
NO CHANGE

SUBJECT PARCEL A2  
CHANGED FROM R-2B TO B-7

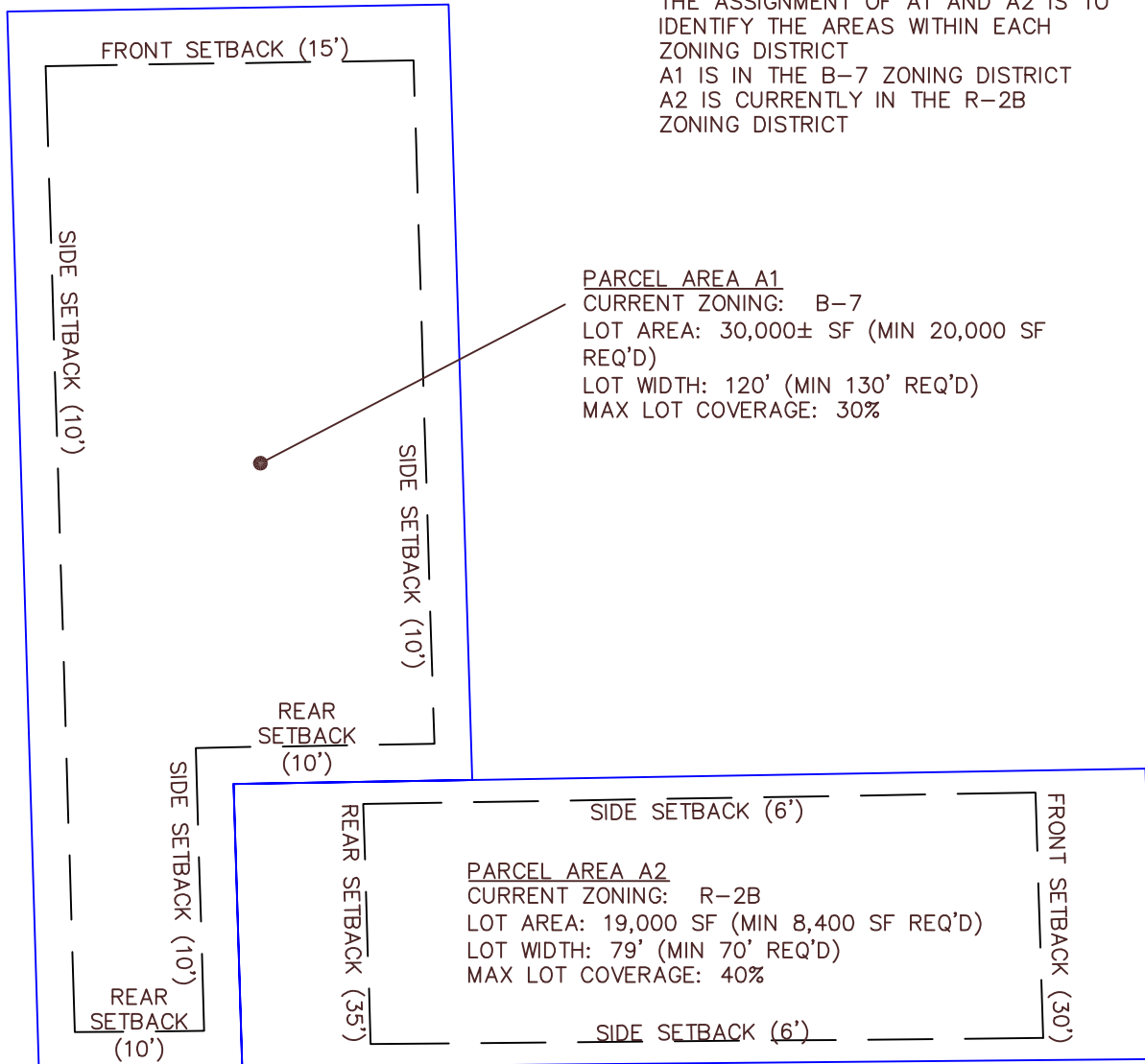
SUBJECT PARCEL A1  
NO CHANGE

SUBJECT PARCEL A2  
CHANGED FROM R-2B TO B-7



**EXHIBIT 7  
PROPOSED REZONING**

PICKARD (M-20)



SUMMARY OF THIS EXHIBIT

PARCEL AREA A1 CAN BE DEVELOPED AS A STAND ALONE COMMERCIAL PARCEL. THE LOT WIDTH IS LESS THAN THAT REQUIRED BY THE ORDINANCE BUT SINCE THIS IS A LOT OF RECORD, DEVELOPMENT OF THE PARCEL IS NOT HAMPERED

PARCEL AREA A2 CAN BE DEVELOPED AS A STAND ALONE RESIDENTIAL PARCEL.

THIS ANALYSIS WAS RECOMMENDED BY THE ZONING ADMINISTRATOR TO AID IN THE REVIEW.

**EXHIBIT 8**  
**ANALYSIS PER ZONING ADMINISTRATOR**  
**REVIEW ZONING BOUNDARIES AS IF THEY**  
**WERE STAND ALONE PARCELS**



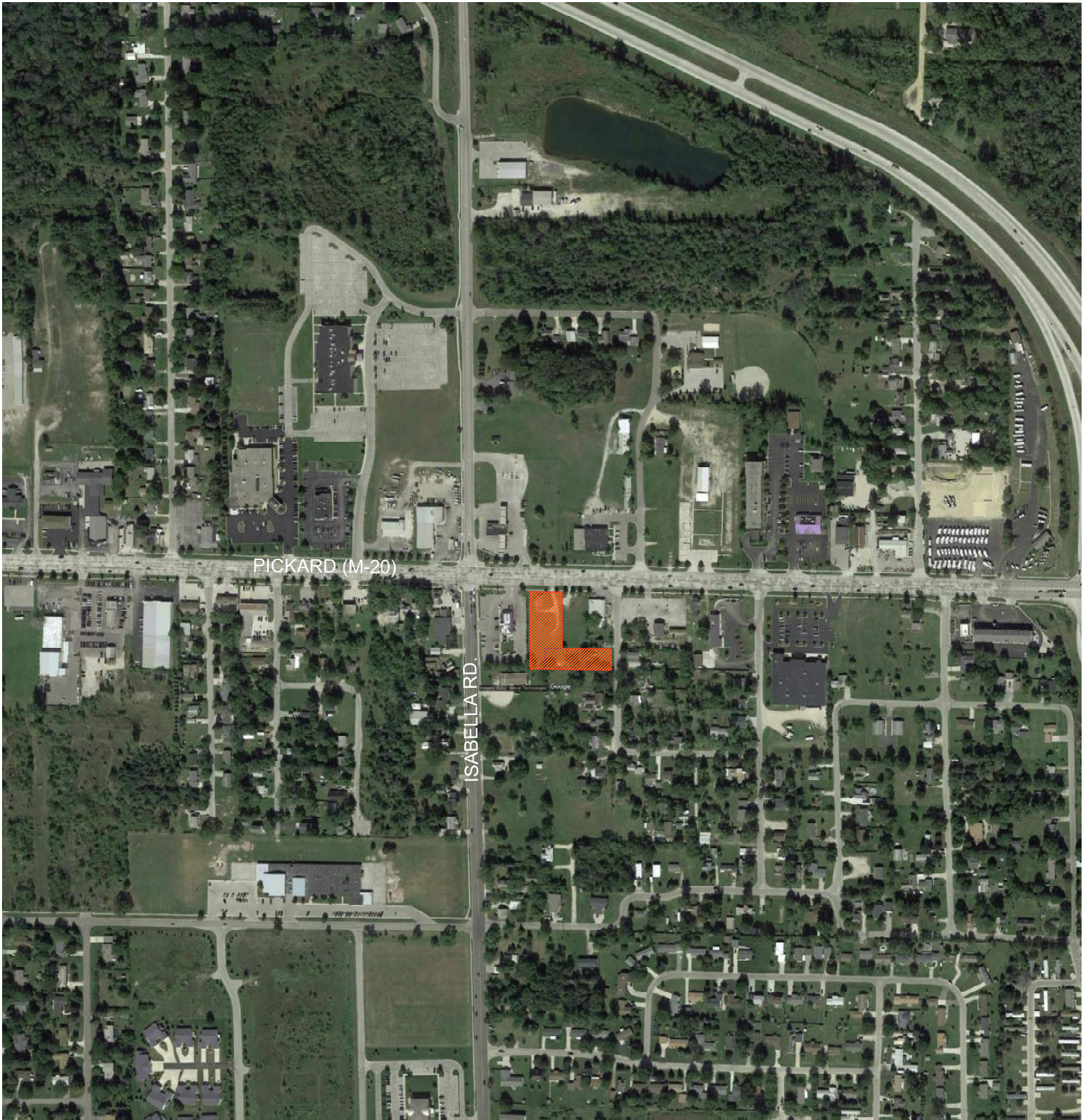






EXHIBIT 10  
ENLARGED AERIAL OVERLAY





EXHIBIT 11  
AERIAL OVERLAY ADJACENT PARCELS ONLY



# ALTA / NSPS LAND TITLE SURVEY

## Notes Corresponding to Schedule B

9. EASEMENTS OVER SUBJECT PROPERTY AS SHOWN ON THE RECORDED PLAT. (BLANKET IN NATURE, AFFECTS PARENT PARCEL, NOT PLOTTED)

## Statement of Encroachments

A. OVERHEAD UTILITIES CROSS THE SUBJECT PROPERTY WITHOUT THE BENEFITS OF EASEMENT.

## ALTA/NSPS Land Title Survey

Based Upon Title Commitment No. 336300LKS  
TRANSACTION TITLE COMPANY  
bearing an effective date of DECEMBER 16, 2020.

Surveyor's Certification

To Midwest V, LLC, its participants, successors and assigns; TRANSECTION TITLE COMPANY; and Old Republic National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(b)(1), 7(b)(2), 7(c), 8, 9, 10(a), 13, 14, and 17 of Table A thereof. The field work was completed on February 12, 2021.

02/15/21  
Date of Plat or Map



*Matthew T. Motanyk*  
Matthew T. Motanyk, P.S., P.E.  
Michigan P.S. No. 42063

## Legal Description of Record

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSACTION TITLE COMPANY TITLE COMMITMENT NO. 336300LKS:

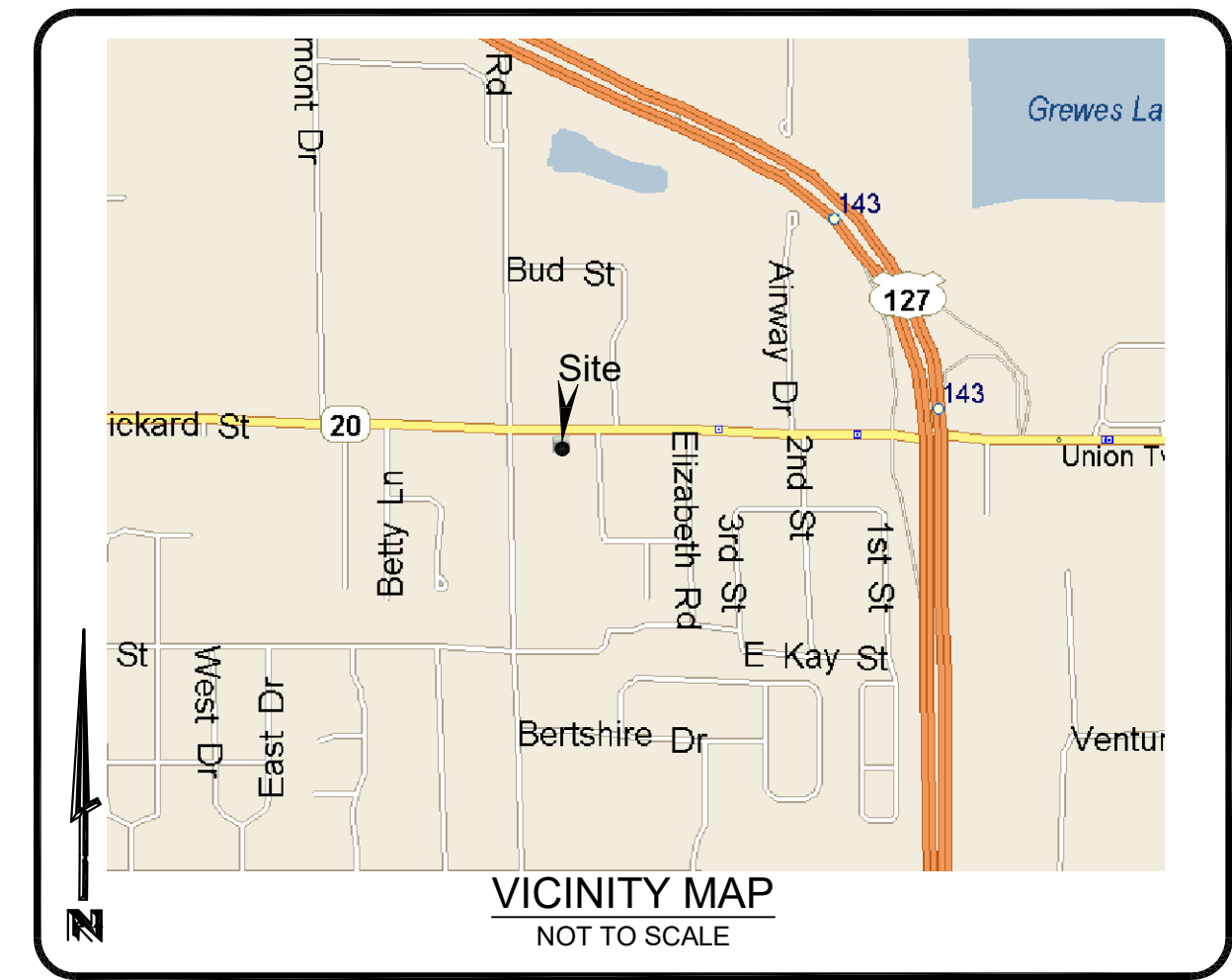
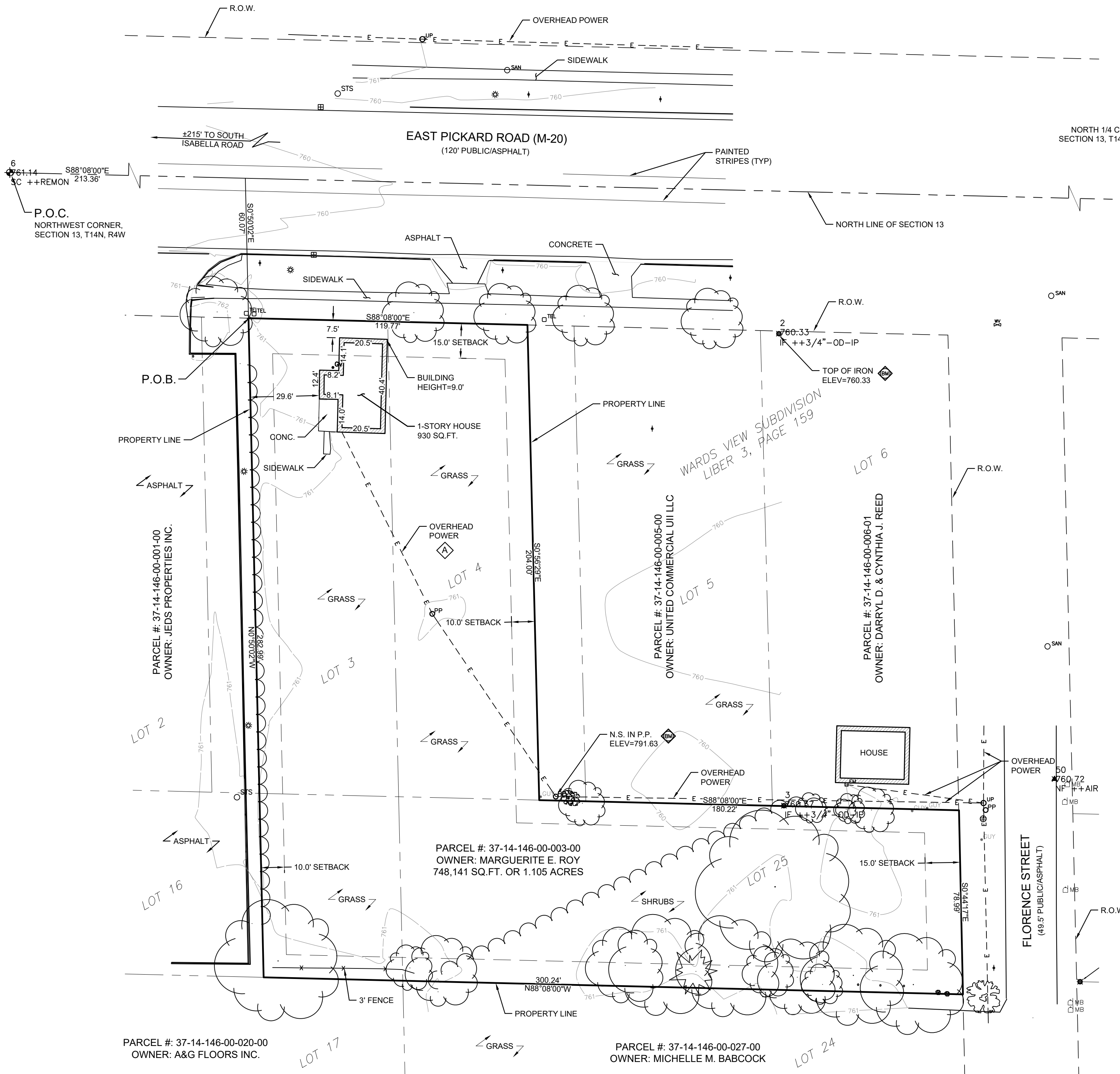
ALL OF LOT 25, ALSO LOT 4 EXCEPT THE EAST 20 FEET THEREOF; AND THE EAST 59.77 FEET OF LOT 3 AND THE EAST 59.77 FEET OF LOT 16, ALL IN THE PLAT OF WARDS VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

## Survey Description

THIS SURVEY DESCRIPTION IS THE SAME PROPERTY AS THAT DESCRIBED IN SCHEDULE 'A', TRANSACTION TITLE COMPANY COMMITMENT NUMBER 336300LKS, BEARING AN EFFECTIVE DATE OF DECEMBER 16, 2020.

PART OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION; THENCE S88°08'00"E ALONG THE NORTH LINE OF SECTION 13 A DISTANCE OF 213.36 FEET; THENCE S00°50'02"E A DISTANCE OF 60.07 FEET TO THE NORTH LINE OF LOT 3 OF WARDS VIEW SUBDIVISION, RECORDED IN LIBER 3, PAGE 159, ISABELLA COUNTY RECORDS, BEING THE NORTHERLY RIGHT OF WAY OF EAST PICKARD ROAD (M-20) (PUBLIC), AND THE POINT OF BEGINNING; THENCE S88°08'00"E ALONG SAID LINE A DISTANCE OF 119.77 FEET; THENCE S00°56'29"E A DISTANCE OF 204.00 FEET TO THE NORTH LINE OF LOT 25 OF SAID PLAT; THENCE S88°08'00"E ALONG SAID LINE A DISTANCE OF 180.22 FEET TO THE EAST LINE OF SAID LOT AND THE WESTERLY RIGHT OF WAY OF FLORENCE STREET (PUBLIC); THENCE S00°44'17"E ALONG SAID LINE A DISTANCE OF 78.99 FEET TO THE SOUTHEAST CORNER OF LOT 25 OF SAID PLAT; THENCE N88°08'00"W ALONG THE SOUTH LINE OF SAID LOT A DISTANCE OF 300.24 FEET; THENCE N00°50'02"W A DISTANCE OF 282.99 FEET TO THE POINT OF BEGINNING, CONTAINING 48,141 SQUARE FEET OR 1.105 ACRES.

**FLOOD NOTE:**  
By graphic plotting only, this property is in Zone(s) XC of the Flood Insurance Rate Map, Community Panel No. 26073C0330D, which bears an effective date of 02/05/14 and is NOT in a Special Flood Hazard Area.



## Legend of Symbols & Abbreviations

- PP--- POWER POLE
- GUY--- GUY
- LP--- LIGHT POLE
- EM--- ELECTRIC TRANSFORMER
- EM--- ELECTRIC METER
- EHH--- ELECTRIC HANDHOLE
- WV--- WATER VALVE
- HYD--- HYDRANT
- GM--- GAS METER
- GM--- GAS MARKER
- GV--- GAS VALVE
- TP--- TELEPHONE PEDESTAL
- FL--- FENCE LINE
- BM--- BENCHMARK
- IRON FOUND
- IRON SET
- P.K. NAIL FOUND
- P.K. NAIL SET
- GPS MONUMENT
- MONUMENT BOX FOUND
- MONUMENT FOUND
- MONUMENT SET
- (R) RECORD
- (M) MEASURED
- STS STORM MANHOLE
- CATCH BASIN
- SQUARE CATCH BASIN
- SANS SANITARY MANHOLE
- SANITARY CLEAN-OUT
- MONITOR WELL
- TELCO. MANHOLE

## Surveyor's Notes

SUBJECT PROPERTY HAS DIRECT PEDESTRIAN AND VEHICULAR ACCESS TO EAST PICKARD ROAD (M-20) (PUBLIC) A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY AS SHOWN HEREON.

ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.

BEARING BASIS: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83.

ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88.

NO CEMETERIES, GRAVESITES, OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED ON THE SURVEYED PROPERTY AT TIME OF SURVEY.

SURVEYOR IS NOT AWARE OF ANY CURRENT OR FUTURE RIGHT OF WAY CHANGES.

NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED AT TIME OF SURVEY.

5048 EAST PICKARD ROAD, ADDRESS OBSERVED AT TIME OF SURVEY.

NO WETLAND FLAGS WERE OBSERVED AT TIME OF SURVEY.

NO EVIDENCE OF RECENT EARTHWORK OR CONSTRUCTION WAS OBSERVED AT TIME OF SURVEY.

SURVEYOR OBSERVED NO EVIDENCE OF ACTIVE DRILLING OR PRODUCTION OF MINERALS OF ANY KIND AT TIME OF SURVEY.

## Site Information

ZONING CONTACT:  
CHARTER TOWNSHIP OF UNION  
(989) 772-4600 PHONE  
2010 SOUTH LINCOLN,  
MT. PLEASANT, MI 48858

TAX ID NO.: 37-14-146-00-003-00

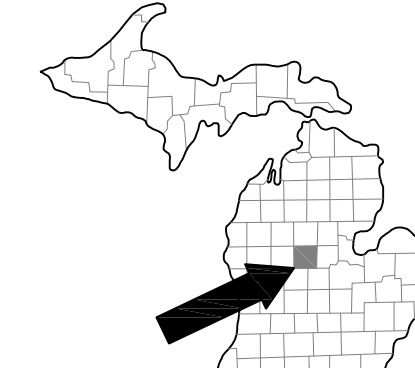
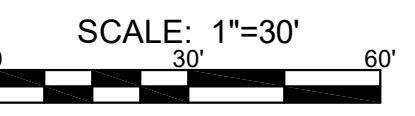
SUBJECT SITE ZONING: B-7, RETAIL AND SERVICE HIGHWAY BUSINESS & R2-B, 1 & 2 FAMILY MEDIUM RESIDENTIAL

SUBJECT SITE AREA: 1.105 ACRES OR 48,141 SQ. FT.

PARKING REQUIREMENTS: 1 SPACE PER 150 S.F. OF USABLE AREA EXISTING PARKING:  
NO PARKING OBSERVED AT TIME OF SURVEY

SETBACKS:  
FRONT: 15' REAR: 10' SIDE: 10'

SOURCE OF ZONING INFORMATION:  
SITE INFORMATION REPORT PREPARED BY CLIENT  
(NO DATE PROVIDED)



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

PLANS PREPARED BY:



DRAWN BY: CEL CHECKED BY: MTM

CEL MTM

## SUBMITTALS

REV	DATE	BY	DESCRIPTION
0	02/15/21	CEL	PRELIMINARY DRAWING

CLIENT  
MIDWEST V, LLC

THIS DRAWING HAS BEEN PREPARED BY LANDTECH PROFESSIONAL SURVEYING & ENGINEERING, LLC. ALL PATENTED AND PATENTABLE FEATURES AND/OR CONFIDENTIAL INFORMATION AND ITS USE IS CONDITIONED UPON THE USER'S AGREEMENT NOT TO REPRODUCE THE DRAWING, IN WHOLE OR IN PART, NOR THE MATERIAL DESCRIBED THEREON, NOR TO USE THE DRAWING FOR ANY PURPOSE OTHER THAN AS SPECIFICALLY PERMITTED IN WRITING BY LANDTECH PROFESSIONAL SURVEYING & ENGINEERING, LLC.



SHEET TITLE  
ALTA SURVEY

SHEET NUMBER JOB NO.

S-1 21466001

**CHARTER TOWNSHIP OF UNION**  
**PUBLIC HEARING NOTICE – ZONING MAP AMENDMENT REQUEST**

NOTICE is hereby given that a public hearing will be held by the Planning Commission on Tuesday, March 16, 2021, at 7:00 p.m. for the purpose of receiving public comments on a request from Nantelle, Bonnie to rezone the 240.47' x 79' area 5048 E. Pickard road PID #14-146-00-003-00, from R-2B (One and Two Family, Medium Density Residential District) to B-7 (Retail and Service Highway Business District) as allowed in section 14.5 of the Union Township Zoning Ordinance 2020-06 as amended.

Legal Description: T14N R4W SEC 13 WARDS VIEW SUB LOT 25 AND LOT 4 EXC E 20 FT AND E 59.77 FT OF LOT 3 AND E 59.77 FT OF LOT 16.

The hearing will be conducted as an electronic meeting consistent with emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended). All interested persons may attend and participate. There will be no in-person public attendance at the Township Hall (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Township staff may choose to participate from this location.

To participate via computer or smart phone, please use the following link to the electronic meeting location:

<https://us02web.zoom.us/j/89299549537?pwd=L3JyMUV6YkpFeXY1TVdmMDlkWDIxUT09>

To participate via telephone dial-in access (audio only), please call (312) 626-6799. At the "Meeting ID" prompt, enter 892 9954 9537 and the # sign. At the "Passcode" prompt, enter 673358 and the # sign, and then enter # again to join the meeting.

The application may be inspected during business hours at the Township Hall. The Zoning Ordinance and Map are available for viewing on the Township's website at:

<http://www.uniontownshipmi.com/Departments/ZoningandPlanningServices.aspx/>.

Any interested person may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing. Written comments may be sent to the Charter Township of Union Zoning Board of Appeals, 2010 South Lincoln Road, Mt. Pleasant, MI 48858, sent via email to [info@uniontownshipmi.com](mailto:info@uniontownshipmi.com), or dropped off in the drop box next to the Township Hall entrance.

For additional information, and for individuals who require special accommodations per the Americans with Disabilities Act, please contact Peter Gallinat, Zoning Administrator, by phone at (989) 772 4600 extension 241.



A&G FLOORS INC  
2065 S ISABELLA DR  
MOUNT PLEASANT MI 48858

GILRAY ROBERT W & STEVEN S  
PO BOX 742  
MOUNT PLEASANT MI 48804-074

M5 HOLDINGS LLC  
8699 LUMBERJACK RD  
RIVERDALE MI 48877

BABCOCK MICHELLE M  
2074 FLORENCE ST  
MOUNT PLEASANT MI 48858-000

GRATIOT MOB LLC  
906 BENTGRASS DR  
MOUNT PLEASANT MI 48858-000

MICHIGAN RESERVES INC  
PO BOX 329  
MOUNT PLEASANT MI 48804-032

BISHOP FAMILY PROPERTIES  
1004 PUEBLO PASS  
WEIDMAN MI 48893

Dr Mohan  
5115 E PICKARD  
Mount Pleasant MI 48858

NANTELE BONNIE  
6400 E BLANCHARD RD  
SHEPHERD MI 48883

CWP WEST CORP  
222 E FIFTH ST  
TUCSON AZ 85705

HESS RHEANNA LYNN  
2086 FLORENCE ST  
MOUNT PLEASANT MI 48858-000

PACKER ANITA  
3115 W BROOMFIELD RD  
MOUNT PLEASANT MI 48858

DEAN JAMES S  
1016 EAST PRESTON  
MOUNT PLEASANT MI 48858-000

HYDE DAVID  
2075 FLORENCE ST  
MOUNT PLEASANT MI 48858-000

PAUL AND CARME INVESTMEN  
810 NEYER  
MOUNT PLEASANT MI 48858-000

DELL DAVID J & DEBORAH I  
2250 E REMUS RD  
MOUNT PLEASANT MI 48858-000

JACKSON SAMANTHA  
2085 FLORENCE ST  
MOUNT PLEASANT MI 48858

REED DARRYL D & CYNTHIA J  
831 E NORTH ST  
ITHACA MI 48847

FABIANO TODD L  
1416 W MICHIGAN ST  
MOUNT PLEASANT MI 48858-000

JEDS PROPERTIES INC  
471 CEDAR  
MOUNT PLEASANT MI 48858

RI CS4 C/O REALTY INCOM COR  
11995 EL CAMINO REAL  
SAN DIEGO CA 92130

FOLTZ JOE  
2094 S ISABELLA RD  
MOUNT PLEASANT MI 48858-000

LEHMKUHLE DAVID  
5131 WARD ST  
MOUNT PLEASANT MI 48858-000

SCHAFFER KYLE A  
2106 FLORENCE ST  
MOUNT PLEASANT MI 48858-000

FRANCO BRENDA K  
5074 KAY  
MOUNT PLEASANT MI 48858

LIBREN MANAGEMENT LLC  
4995 E PICKARD RD  
MOUNT PLEASANT MI 48858-000

SCHLEDER MARTIN G & ELISA J  
2116 FLORENCE ST  
MOUNT PLEASANT MI 48858-000

GILRAY ROBERT & STEVEN  
PO BOX 742  
MOUNT PLEASANT MI 48804-074

LOS KEN S & TAING NGY  
5114 E PICKARD RD  
MOUNT PLEASANT MI 48858

UNITED COMMERCIAL-UII, LLC  
P.O. BOX 222  
MOUNT PLEASANT MI 48804-022



# MediaNews Group

**MICHIGAN GROUP**

Account: **531226**  
 Name: **Sherrie Teall**  
 Company: **UNION TOWNSHIP**

Address: **2010 S Lincoln**  
**Mount Pleasant, MI 48858**

Telephone: **(989) 772-4600**  
 Fax: **(000) 000-0000**  
 Description: **CHARTER TOWNSHIP OF UNION PUBLIC HEA**

Date: **02/19/21**  
 Start Date: **02/23/21** Stop Date: **02/23/21**  
 Class: **1201 - Legal Notices**  
 Ad ID: **2132915**  
 Ad Taker: **CRLHAMLIN**  
 Sales Person: **Linda Hamlin (200308)**  
 Words: **405**  
 Lines: **60**  
 Agate Lines: **126**  
 Depth: **7.0**  
 Inserts: **2**  
 Blind Box:  
 PO Number:

**Ad sample**

**CHARTER TOWNSHIP OF UNION  
 PUBLIC HEARING NOTICE - ZONING MAP  
 AMENDMENT REQUEST**

NOTICE is hereby given that a public hearing will be held by the Planning Commission on Tuesday, March 16, 2021, at 7:00 p.m. for the purpose of receiving public comments on a request from Bonnie Nantelle to rezone the easterly 79.0-foot by 240.47-foot portion of the 1.16-acre parcel at 5048 E. Pickard Road (PID #14-146-00-003-00) located on the south side of E. Pickard Road and west side of Florence Street from R-2B (One and Two Family, Medium Density Residential District) to B-7 (Retail and Service Highway Business District) as allowed per Section 14.5 of the Township Zoning Ordinance 2020-06.

Legal Description: T14N R4W SEC 13 WARDS VIEW SUB LOT 25 AND LOT 4 EXC E 20 FT AND E 59.77 FT OF LOT 3 AND E 59.77 FT OF LOT 16.

The hearing will be conducted as an electronic meeting consistent with emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended). All interested persons may attend and participate. There will be no in-person public attendance at the Township Hall (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Township staff may choose to participate from this location.

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The application may be inspected during business hours at the Township Hall. The Zoning Ordinance and Map are available for viewing on the Township's website at: <http://www.uniontownshipmi.com/Departments/ZoningandPlanningServices.aspx/>.

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For additional information, and for individuals who require special accommodations per the Americans with Disabilities Act, please contact Peter Gallinat, Zoning Administrator, by phone at (989) 772 4600 extension 241.

Total: **\$287.90**  
 Paid Amount: **\$0.00**  
 Amount Due: **\$287.90**

**Publication**

Morning Sun, morningstarpublishing.com

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## Draft Motions: Zoning Map Amendments

### **MOTION TO RECOMMEND APPROVAL OF THE REZONING AS REQUESTED:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to recommend to the Township Board of Trustees that the PREZ 21-01 Zoning Map Amendment to rezone the easterly 79.0-foot by 240.47-foot portion of the 1.16-acre parcel at 5048 E. Pickard Road (PID #14-146-00-003-00) located on the south side of E. Pickard Road and west side of Florence Street from R-2B (One and Two Family, Medium Density Residential District) to B-7 (Retail and Service Highway Business District) be adopted based on the following findings and conclusions:

1. The subject site is located in the East DDA District, and is the only lot in the along E. Pickard Road that is split-zoned R-2B and B-7.
  2. This rezoning is fully consistent with the Master Plan's goals, objectives, and policies for the Retail/Service area as designated on the Future Land Use map.
  3. A lot that is split-zoned can create obstacles that inhibit reasonable development of the lot.
  4. Based on trends in the area, availability of public infrastructure, the timing of this rezoning proposal is appropriate for consideration.
  5. This amendment will not create any special privilege, result in unlawful exclusionary zoning or set an inappropriate precedent. No adverse impacts are anticipated by the proposed rezoning or development of the lot consistent with Zoning Ordinance requirements.
  6. Any future development would be required to conform to the requirements of the B-7 District and the site development, screening, and land use buffering standards of the Zoning Ordinance.
- 

### **MOTION TO RECOMMEND DENIAL OF THE REQUESTED REZONING:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to recommend to the Township Board of Trustees that the PREZ 21-01 Zoning Map Amendment to rezone the easterly 79.0-foot by 240.47-foot portion of the 1.16-acre parcel at 5048 E. Pickard Road (PID #14-146-00-003-00) located on the south side of E. Pickard Road and west side of Florence Street from R-2B (One and Two Family, Medium Density Residential District) to B-7 (Retail and Service Highway Business) District be denied based on the following findings and conclusions:

1. The R-2B zoning configuration of the Florence St. portion of the lot is consistent with the pattern of residential and business uses in this area and could be developed as a separate residential lot.
  2. A lot that is split-zoned can create unique opportunities for development.
  3. Without adequate screening and buffering, the proposed rezoning of the Florence St. frontage to B-7 could create the potential for land use conflicts between future commercial development and existing residences.
- 
- 

### **MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PREZ 21-01 Zoning Map Amendment until \_\_\_\_\_ for the following reasons: \_\_\_\_\_

**FINAL SITE PLAN REPORT**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	March 9, 2021
<b>FROM:</b>	Peter Gallinat, Zoning Administrator	<b>ZONING:</b>	B-7 Retail and Service Highway Business
<b>PROJECT:</b>	PSPR21-05 - Final Site Plan Approval Application for the Pickard Road City Gate Reconstruction Project.		
<b>PARCEL(S):</b>	PID 14-013-20-001-00		
<b>OWNER(S):</b>	Consumers Energy		
<b>LOCATION:</b>	Approximately 2.9 total acres on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the NE1/4 of Section 13.		
<b>EXISTING USE:</b>	Essential service natural gas distribution	<b>ADJACENT ZONING:</b>	B-7 and I-2
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Community Commercial</i> . This land use category is intended the widest variety of retail and service businesses, but is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.		
<b>ACTION REQUESTED:</b>	To review and take action to approve, deny or approve with conditions the PSPR21-05 final site plan dated “February 2021” for the Consumers Energy Pickard Road City Gate Reconstruction Project.		

**Background Information**

**Project Summary**

Consumers Energy is proposing to reconstruct its existing “city gate” facility, which is an essential component of the utility company’s regional natural gas distribution system and is regulated as an “essential service” land use allowed in all zoning districts subject to site plan approval. The planned reconstruction would include:

- Replacement of the existing equipment shelter structures with a new 34-foot by 44-foot (1,496 square-foot) building with an enhanced steel and brick facade.
- Replacement and upgrading of utility infrastructure and equipment on the site.
- Replacement of the existing chain-link fencing on the north and east sides of the secured enclosure with a seven (7) foot tall black ornamental steel fence.
- Removal of the gravel turnaround and parking area adjacent to E. Pickard Rd. and establishment of a new access drive and entrance from S. Summerton Rd.
- Extensive landscaping improvements in areas of the site not encumbered by underground infrastructure, along with protection of existing trees and vegetation.



## Essential Services and Limited Modifications to Regulations

The Consumers Energy City Gate natural gas facility meets the definition of an “essential service” under our Zoning Ordinance. Essential service land uses are allowed in all zoning districts, subject to site plan approval. Section 7.15 (Essential Services) also provides for the Planning Commission to be able to approve a site plan that includes “*modification to regulations governing lot area, building or structure height, building or structure placement, and use of land in the Township when strict compliance with such regulations would not be practical or feasible.*”

This provision to allow modifications is limited by the following additional statement in this section: “*Essential services shall comply with all applicable regulations that do not affect the basic design or essential operation of said services.*”

## Review Comments

The following review comments are based on the applicable Ordinance requirements, the required information for a preliminary site plan (see Section 14.2.P.), and the standards for preliminary site plan approval found in Section 14.2.S. of the new Zoning Ordinance.

1. **Section 14.2.P. - Site Plan Information Requirements.** The site plan conforms to the minimum information requirements for a final site plan.
2. **Section 3.15. - Setbacks.** The location and dimensions of the existing facility’s fenced enclosure will not be altered by the planned reconstruction. The proposed building location conforms to the minimum required setbacks of the B-7 District.
3. **Section 8.1.B.6. - Environmental Performance Standards.** Applicant has confirmed that hazardous materials on-site are limited to an underground storage tank containing Mercaptan, the odorant added to natural gas before distribution to customers.
4. **Section 9.1 - Parking.** A note on sheet C-0251-PMT - 4 confirms that the site will not be regularly occupied. Employees will visit for periodic maintenance and inspections. There is sufficient space within the fenced enclosure to accommodate temporary parking of vehicles for these purposes. No other off-street parking is required for this facility.
5. **Section 9.5 – Loading Space.** Sufficient space has been provided within the fenced enclosure to satisfy the minimum loading space requirement for this land use.
6. **Section 9.6 - Access Management.** This Section establishes driveway standards designed to preserve the function and capacity of E. Pickard Rd. (M-20). The site is currently served by one (1) existing driveway approach from M-20, which is planned to remain in place as a secondary access point. The applicant has proposed to provide a new primary access point from S. Summerton Rd. into the site.

This second access point eliminates the need for the turnaround area adjacent to E. Pickard Rd., and was accepted by the Planning Commission consistent with Section 9.6 requirements. The removal of this turnaround will improve the appearance of this site and will be a benefit to the community.

7. **Section 7.10 - Sidewalks and Pathways.** The plan shows the existing public sidewalk along E. Pickard Rd. and a proposed 5-foot sidewalk has been proposed as required along Summerton road. A cross-section sidewalk construction detail showing the base and pavement depth, pavement width, and description of base and paving materials has been added. The proposed sidewalk is consistent with the requirements of Section 7.10 and the Township's Sidewalk and Pathway Ordinance No. 2009-03.
8. **Section 8.2. - Exterior Lighting.** Plan commits to having all lighting directly down shielded. Lighting pole height conforms with standards. The following exterior lighting detail still needs to be addressed by the applicant to confirm compliance with Section 8.2:
  - The photometric plan required to verify compliance with the maximum illumination levels listed in Section 8.2.C.1. of the Zoning Ordinance is missing from the final site plan set.
9. **Section 7.6. – Fencing.** The proposed ornamental-style black steel security fencing for the north and east sides of the enclosure is a significant visual upgrade for this site and will also have the benefit of providing some additional screening of the equipment within the fenced enclosure. The Planning Commission accepted the seven (7) foot high ornamental fence as a necessary modification for essential services per Section 7.15 of the Zoning Ordinance as part of the preliminary site plan approval.
10. **Section 10. – Landscaping and Screening.** The plan on sheet C-251-SPL-2 includes preservation of existing trees and vegetation on the site to the east of the fenced enclosure, and preservation of the existing evergreen hedgerow on the west side of the enclosure adjacent to the hotel. The plan also includes a total of 20 new deciduous, ornamental, and evergreen trees and 46 new shrubs.

The landscape installation and maintenance plans conform to Section 10 standards and the proposed planting locations near the northeast corner of the site conform to the requirements of Section 4.6 (Clear Vision Triangle).

The number of new plantings is consistent with Section 10.2 (General Landscaping Requirements) as applied to the proposed project. However, the new landscaping cannot be located in the required area between the fenced enclosure and the E. Pickard Rd. right-of-way due to limitations imposed by underground natural gas infrastructure. The applicant has proposed an arrangement of new plantings that maximizes the visual character benefits within the available areas of the site.

Staff would have no objection from a planning perspective to approval of the final site plan with the proposed landscaping arrangement as a necessary modification for essential services per Section 7.15 of the Zoning Ordinance.

### **Objective**

The Planning Commission shall study the final site plan and take action when ready to either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated.

## Key Findings

1. Site improvements includes significant upgrades to the visual character of this facility, including new ornamental fencing, an upgraded equipment shelter building, removal of the gravel turnaround/parking area in front, and installation of new landscaping.
2. Limited modifications to ordinance requirements related to access, fence height, and planting locations are necessary per Section 7.15 (Essential Services) for the design and operation of the facility.
3. With the exception of the missing exterior lighting detail, the final site plan conforms to the standards for final site plan approval found in Section 14.2.S. (Standards for Site Plan Approval).

## Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR21-05 site plan, subject to the following conditions:

1. A building permit will be required for this project.
2. A photometric plan for the proposed exterior lighting illumination levels within the site shall be required to be provided with the building permit application for the proposed building and proposed seven foot high ornamental fence.

Please contact me at (989) 772-4600 ext. 241, or via email at [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

***Peter Gallinat, Zoning Administrator***

Community and Economic Development Department

**Charter Township of Union**

**APPLICATION FOR SITE PLAN REVIEW**

Minor Site Plan       Preliminary Site Plan       Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	Mt. Pleasant City Gate Reconstruction		
Common Description of Property & Address (if issued)	Natural gas regulator site located on E. Pickard Road just west of Summerton Road and east of Baymont Inn		
Applicant's Name(s)	Consumers Energy (Courtney Killeen)		
Phone/Fax numbers	(517) 788-1867	Email	Courtney.E.Killeen@cmsenergy.com
Address	One Energy Plaza	City:	Jackson      Zip: 49201

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-013-20-001-00
Existing Zoning:	B-7	Land Acreage:	2.9 Acres	Existing Use(s): Nat. Gas Regulator Station (Essential Services)
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)				

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: ROWE Professional Services Company Phone: 810-341-7500 Email: dscott@rowepsc.com
	2. Address: 540 S. Saginaw, Suite 200 City: Flint State: Zip: 48502 Contact Person: Douglas A. Scott, P.E. Phone (810) 869-5111
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: Consumers Energy (Courtney Killeen) Phone: (517) 788-1867 Address: One Energy Plaza City: Jackson State: Zip: 49201
	Signature: Interest in Property: owner's representative
	2. Name: Phone: Address: City: State: Zip:
	Signature: Interest in Property:

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

**Courtney E  
Killeen**

Digitally signed by Courtney E Killeen  
DN: cn=Courtney E Killeen, o=Consumers Energy, ou,  
email=courtney.e.killeen@cmsenergy.com,  
c=US  
Date: 2021.02.25 08:11:01 -05'00'

2.25.2021

Signature of Applicant

Date

**Office Use Only**

Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

## **Preliminary Site Plan Review Procedure**

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

### **Effect of Preliminary Site Plan Approval**

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

## **Outside Agency Approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

## **Final Site Plan Review Procedure**

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

### **Effect of Final Site Plan Approval**

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

## **Minor Site Plan Review Procedure**

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW

### HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Consumers Energy

Name of business owner(s): Consumers Energy

Street and mailing address: One Energy Plaza  
Jackson, MI 49201

Telephone: (517) 788-1867

Fax: \_\_\_\_\_

Email: Courtney.E.Killeen@cmsenergy.com

**I affirm that the information submitted is accurate.**

Owner(s) signature and date: Courtney E Killeen

Digitally signed by Courtney E Killeen  
DN: cn=Courtney E Killeen,  
o=Consumers Energy, ou,  
email=courtney.e.killeen@cmsenergy.c  
om, c=US  
Date: 2021.02.25 08:12:23 -05'00'

Information compiled by: \_\_\_\_\_  
Consumers Energy

## Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
Odorant	Mercaptan	LiQ	175 Gallons	UGT
<p>_____ <b>NONE</b></p>	<p><b>KEY:</b>            LIQ. = liquid            P.LIQ = pressurized liquid            S = solids            G = gas            PG = pressurized gas</p>			<p><b>KEY:</b>            AGT = above ground tank                  = drums            UGT = underground tank            Cy = cylinders            CM = metal cylinders            CW = wooden or composition                  container            TP = portable tank</p>

**Section 14.2 Site Plan Review (excerpts)**

**A. Purpose and Scope.**

The purposes of this Section are to establish uniform requirements of procedure for review of site plans for new development in the Township; to confirm compliance with this Ordinance and other Township ordinances prior to the start of construction; and to ensure that development in the Township is consistent with the adopted policies of the Township's Master Plan.

**B. Authority.**

Flexible standards have been established to ensure that the type of review and amount of required information is proportional to the project's scale and intensity. The Planning Commission shall have the authority to review and take action on preliminary site plan and final site plan applications and the Zoning Administrator shall have authority to review and take action on minor site plan applications, all in accordance with this Section and Ordinance.

1. Preliminary site plan. Requirements for a preliminary site plan are intended to allow for review of the general character of the proposed use(s), general site layout, and location of structures and other site improvements; and to confirm that the overall development can conform to Ordinance requirements.
2. Final site plan. A final site plan is a set of engineering, architectural, and/or landscape design drawings that satisfy all applicable requirements of this Ordinance and outside agencies with jurisdiction, which are prepared by registered design professionals based on an approved preliminary site plan and depict all planned building, pedestrian access, parking, grading, drainage, infrastructure, exterior lighting, and other site improvement details for a given lot and development project.
3. Minor site plan. The reduced information requirements for a minor site plan submittal, as specified in Section 14.2(P) (Required Site Plan Information), are intended to allow for administrative review of a limited range of low intensity projects that do not include significant engineering or design details.

**C. Site Plan Approval Required.**

No permits shall be issued, no construction of or addition to any structure shall take place, and no land use for which site plan approval is required shall be established or expanded until all required site plans have been approved in accordance with this Section and Ordinance. Except as permitted in accordance with this Section, no grading, grubbing, cutting of trees or other vegetation, excavation, landfilling, or construction of improvements shall commence for any development for which site plan approval is required until all required site plans have been approved in accordance with the following:

Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Adult foster care large group homes, group child day care homes, and home-based limited businesses subject to special use permit approval in the zoning district per Section 3.			✓	
All other land uses subject to special use permit approval in the zoning district, and all land uses for which site plan approval is otherwise required by provisions of this Ordinance.	✓	✓		
Farm-based tourism and entertainment activities (agri-tourism), public stables, permanent auction facilities, and religious institutions as allowed in the Agricultural (AG) District per Section 3.	✓	✓		
Private off-road courses as allowed in the Agricultural (AG) District per Section 3.			✓	
Customary agricultural operations, private stables, and greenhouses as allowed in the Agricultural (AG) and Rural Residential (R-1) zoning districts per Section 3, provided that the structures and improvements shall conform to all applicable Ordinance standards.				✓
Construction, relocation or alteration of a two family (duplex) dwelling, detached single family dwelling or customary accessory structures on a single lot, provided that the structures and improvements shall conform to all applicable Ordinance standards.				✓

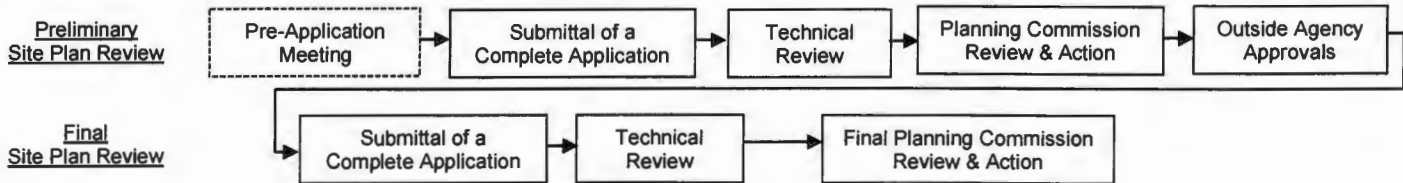


Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Home occupations that conform to the requirements of Section 6.19.				✓
Family day care homes, adult foster care family homes and small group homes, and child foster family homes and family group homes, as licensed by the State of Michigan.				✓
Multiple-family residential buildings and uses, independent or dependent senior housing, assisted living facilities, nursing homes; homes for the aged, and religious institutions as allowed in the Residential Districts per Section 3.	✓	✓		
All land uses allowed in the Business Districts and Industrial Districts per Section 3.	✓	✓		
All planned unit development (PUD) projects, as approved by the Township Board in accordance with Section 3.18.	✓	✓		
Construction or expansion of buildings, equipment storage yards, and associated above-ground site improvements occupied by or intended for occupancy by essential services in any zoning district.	✓	✓		
The improvement, expansion, extension or abandonment of public or private overhead or underground utility lines or easements.				✓
Any development which would, if approved, provide for the establishment of more than one principal use or building on a lot.	✓	✓		
Establishment or alteration of a condominium subdivision of an existing building into separate units in accordance with the Condominium Act and Section 5.1 of this Ordinance provided that no new construction or alteration of existing buildings or site improvements are proposed or required, and compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Establishment or alteration of any other condominium subdivision in accordance with the Condominium Act and Section 5.1.	✓	✓		
A change in use for an existing multiple-family, mixed use or non-residential building where the Zoning Administrator has determined that no new construction or alteration of the building or site improvements are required and compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Any other change in use for an existing multiple-family, mixed use or non-residential building.	✓	✓		
Expansion of an existing multiple-family, mixed use or non-residential principal building of up to ten percent (10%) of the gross floor area, and any alterations that affect the exterior appearance, pedestrian access or function of the building without a floor area increase.			✓	
Expansion of an existing multiple-family, mixed use or non-residential principal building exceeding ten percent (10%) of the gross floor area.	✓	✓		
Relocation of a multiple-family, mixed use or non-residential building.	✓	✓		
Establishment or alteration of a multiple-family, mixed use or non-residential accessory use or structure where the Zoning Administrator has determined that compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Any other establishment or alteration of any other multiple-family, mixed use or non-residential accessory use or structure,	✓	✓		
Expansion of any multiple-family, mixed use or non-residential off-street parking facility by up to 2,750 square feet.			✓	

Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Expansion of any multiple-family, mixed use or non-residential off-street parking facility exceeding 2,750 square feet.	✓	✓		
Construction, extension or alteration of a private road, as authorized by Ord. No. 2009-09, that is located outside of a subdivision plat.	✓	✓		
Incidental changes during construction due to unanticipated site constraints or outside agency requirements, and minor landscaping changes or species substitutions, consistent with an approved final site plan.			✓	
Incidental building modifications that do not significantly alter the facade, height or floor area of a multiple-family, mixed use or non-residential building.			✓	
Changes to a site required to comply with State Construction Code requirements.			✓	
Sidewalk or pedestrian pathway construction, or barrier-free improvements.			✓	
Construction of fences, exterior lighting improvements, or installation of screening around a waste receptacle, mechanical unit or similar equipment for a multiple-family, mixed use or non-residential use.			✓	
Re-occupancy of an existing multiple-family, mixed use or non-residential building that has been vacant for more than 365 calendar days, provided that no variances to the requirements of this Ordinance are required and the proposed use will be conducted within a completely enclosed building, and will not require access changes or other substantial modifications to the existing site.			✓	

1. **Extraction operations.** For extraction operations as authorized under the Township's Extraction Ordinance No. 20-01, Planning Commission approval of an Extraction Permit and associated mining and reclamation plans shall also constitute site plan approval for the use under this Ordinance.
2. **Mobile home parks.** Construction, expansion or alteration of a mobile housing park shall be subject to preliminary plan approval in accordance with Section 3.12 and the procedures and standards established under Section 11 of the Mobile Home Commission Act (Public Act 96 of 1987, as amended), as summarized below:
  - a. The preliminary plan shall include the location, layout, general design, and general description of the project. The preliminary plan shall not include detailed construction plans.
  - b. In preparing the preliminary plan and when reviewing the plan, the developer and Planning Commission shall generally follow the review procedure outlined in this Section for preliminary site plan approval, where applicable, except where pre-empted by requirements of the Mobile Home Commission Act or Manufactured Housing Rules.
  - c. Pursuant to Section 11 of the Mobile Home Commission Act, the Planning Commission shall take action on the preliminary plan within 60 days after the Township officially receives the plan.

**D. Summary of the Site Plan Review Processes.**



**NOTE:** Applicant may combine preliminary and Final Site Plan Review, per Section 14.2(M)

**P. Required Site Plan Information.**

The following minimum information shall be included with any application for site plan approval, except where the Township Planner, Zoning Administrator or Planning Commission determines that an item of information is not applicable or necessary for review of the site plan:

<b>Minimum Site Plan Information</b>	<b>Minor Site Plan</b>	<b>Preliminary Site Plan</b>	<b>Final Site Plan</b>
<b>SITE PLAN DESCRIPTIVE INFORMATION</b>			
Name, address, and other contact information for the applicant and property owners, along with proof of ownership and signed consent if applicant is not the owner.	●	●	●
Name, address, and other contact information of the firm or individual preparing the site plan. Site plans prepared by an architect, community planner, engineer, landscape architect or land surveyor shall bear the individual's professional seal.	●	●	●
A final site plan shall be prepared and sealed by an architect, engineer, landscape architect or land surveyor registered in the State of Michigan.			●
Location, address(es), and tax identification number(s) of subject parcel(s); dimensions of the site, and the gross and net land area.	●	●	●
Legal description(s) of the subject parcel(s).		●	●
Legal description of the proposed development site and any non-contiguous open space area(s), if different from the subject parcel(s), with lot line angles or bearings indicated on the plan. Dimensions, angles, and bearings shall be based upon a boundary survey prepared by a registered surveyor.		●	●
Details of existing and proposed covenants or other restrictions imposed upon land or buildings, including bylaws, deed restrictions, and articles of incorporation for a cooperative, condominium, or homeowners' association.			●
Description of applicant's intentions regarding selling or leasing of all or portions of land, dwelling units or building spaces.		●	●
Residential projects: Gross and net dwelling unit density, lot area per dwelling unit, and a schedule of the number, sizes (bedrooms, floor areas), and types of dwellings.		●	●
A detailed use statement describing proposed use(s); including land or building areas for each use, number of units, number of anticipated employees, or other applicable information to verify Ordinance compliance.	●	●	●
<b>SITE PLAN DATA AND NOTES</b>			
Minor site plans shall be drawn to a scale appropriate for the sheet size and of such accuracy that the Zoning Administrator can readily interpret the plan.	●		
Preliminary and final site plans shall be drawn to an engineer's scale not greater than 1:50 and legible at the required sheet size. For a large development shown in sections on multiple sheets, one overall composite sheet shall be provided for clarity.		●	●
Vicinity map showing the general location of the site, map scale, north arrow, initial plan date, and any revision date(s).	●	●	●
Existing zoning classification(s) for the subject parcel(s) and surrounding parcels (including across road rights-of-way).		●	●
Owners' names, existing uses, and location of structures, drives, and improvements on surrounding parcels (including across rights-of-way).		●	●
Identification of all adjacent property in which the applicant(s), developer(s), or owner(s) have an ownership interest.		●	●
Dimensions of all property boundaries and interior lot lines.	●	●	●
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	●	●	●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
<b>EXISTING CONDITIONS</b>			
Location of existing structures, fences, and driveways on the subject property, with notes regarding their preservation or alteration.	●	●	●
Location of existing walls, signs, utility poles and towers, pipelines, excavations, bridges, culverts, and other site features on the subject property, with notes regarding their preservation or alteration.		●	●
<b>SITE PLAN DETAILS</b>			
Delineation of required yards, and other setback areas and open space.	●	●	●
Identification of general location(s) and area(s) of each development phase; and the planned construction program and schedule for each development phase.		●	●
Location, width, purpose, and description of all existing and proposed easements and rights-of-way on or adjacent to the site.	●	●	●
Location, type, area, height, and lighting specifications of proposed signs.	●		●
An exterior lighting plan with all existing and proposed lighting locations, heights from grade, specifications, lamps types, and methods of shielding.	●		●
Location, area, and dimensions of any outdoor sales, display or storage areas.	●	●	●
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.		●	●
<b>BUILDING DESIGN AND ORIENTATION</b>			
Location, outline, ground floor area, and height of proposed structures; and of existing structures to remain on-site.	●	●	●
Dimensions, number of floors, and gross and net floor area of proposed principal buildings; and of existing principal buildings to remain on-site.		●	●
Separation distances between adjacent buildings, and between buildings and adjacent lot boundaries.		●	●
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.		●	●
Finished floor elevations and contact grade elevations for proposed principal buildings and existing principal buildings to remain on-site, referenced to a common datum acceptable to the Township Engineer.			●
<b>ACCESS AND CIRCULATION</b>			
Locations, layout, surface type, centerlines, road pavement and right-of-way widths, and indication of public or private road status for all existing and proposed roads and access drives serving the site.		●	●
Conceptual locations, layout, and surface type for all parking lots, sidewalks, and pedestrian pathways within and accessing the site.	●	●	●
Locations and dimensions of vehicle access points, and distances between adjacent or opposing driveways and road intersections.	●	●	●
Details of the location, width, and paving of proposed sidewalks and pedestrian ways, including alignment, cross section, connections to existing or planned off-site facilities, and easement or right-of-way dedications.	●		●
Parking space dimensions, pavement markings, and traffic control signage.	●	●	●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
Parking space angles; maneuvering aisle, island, and median dimensions; surface type; fire lanes; drainage patterns; location of loading areas; and typical cross-section showing surface, base, and sub-base materials.		●	●
Identification of proposed names for new public or private roads serving the site.		●	●
Spot elevations for existing roads on and adjacent to the subject parcel(s), including surface elevations at intersections with the internal roads and drives serving the proposed development; curve-radii and road grades; location and details of curbs, and turning lanes; and typical road cross sections showing surface, base, and sub-base materials and dimensions.			●
<b>NATURAL FEATURES AND OPEN SPACE AREAS</b>			
A general description and preliminary delineation of existing natural features on and abutting the site.		●	●
Details of all existing natural features on the site; indications of features to be preserved, removed, or altered; and any mitigation measures as may be required by Township ordinance or state statute.			●
Outdoor open space and recreation areas; location, area, and dimensions.		●	●
Description of the organization that will own and maintain open space and recreation areas, and a long-term maintenance plan for such areas.			●
<b>SCREENING AND LANDSCAPING</b>			
General layout of proposed landscaping and screening improvements; including plantings, topographic changes, and similar features.	●	●	●
A detailed landscape plan, including location, size, quantity and type of proposed plant materials and any existing plant materials to be preserved.			●
Planting list for all landscape materials, with the method of installation, botanical and common name, quantity, size, and height at planting.			●
Landscape maintenance plan, including notes regarding replacement of dead or diseased plant materials.			●
Proposed fences, walls, and other screening devices, including typical cross section, materials, and height above grade.	●	●	●
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	●	●	●
<b>UTILITIES, STORMWATER MANAGEMENT, AND GRADING</b>			
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.		●	●
Details of the location, layout, and size or capacity of the existing and proposed potable water supply and sewage treatment and disposal facilities serving the site, including line sizes, inverts, hydrants, flow patterns, manholes, and catch basins.			●
Location, size, and slope of proposed detention or retention ponds; and location and size of underground tanks and drain lines where applicable.			●
Calculations for capacity of stormwater management and drainage facilities.			●
Location and size of existing and proposed telephone, gas, electric, and similar utility lines and surface-mounted equipment.			●
General areas of intended filling or cutting.		●	●
Directional arrows showing existing and proposed drainage patterns on the lot.	●		●



Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
A detailed grading plan, with details of proposed filling or cutting, existing and proposed topography at a minimum of two (2) foot contour levels, stormwater runoff drainage patterns, and a general description of grades within 100 feet of the site. All finished contour lines are to be connected to existing contour lines within the site or at the parcel boundaries.			●
Locations, dimensions, and materials of proposed retaining walls, with fill materials and typical vertical sections.		●	●
Description of measures to control soil erosion and sedimentation during construction operations, and until permanent groundcover is established.			●
Other information as requested by the Township Planner, Zoning Administrator or Planning Commission to verify compliance with the standards and conditions imposed by this Ordinance, the policies of the Township Master Plan, and other applicable Township ordinances or state statutes.	●	●	●

**Q. Expiration and Extension of Site Plan Approval.**

Site plan approvals shall expire and may be extended in accordance with the following:

1. Expiration of preliminary site plan approval. Approval of a preliminary site plan shall be valid for a period of 545 calendar days from the date of approval and shall expire and be of no effect unless an application for final site plan approval for all or part of the area included in the approved preliminary site plan is filed with the Township Clerk within that time period.
2. Expiration of final site plan approval. A final site plan shall expire and be of no effect unless construction has begun on the property and is diligently pursued in conformance with the approved final site plan within 545 calendar days of the final site plan approval.
3. Extension of preliminary or final site plan approval. The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a preliminary or final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.
4. Expiration of Minor Site Plan Approval. A minor site plan shall expire and be of no effect unless, within 365 calendar days of approval, appropriate permits have been approved, construction has begun on the property, and such work is diligently pursued in conformance with the approved minor site plan. No extensions of minor site plan approval shall be granted by the Zoning Administrator.

**R. Phasing of Development.**

The applicant may divide the development into two (2) or more phases. Phasing shall be subject to the following requirements:

1. In the case of a phased development, the preliminary site plan shall cover the entire property involved and shall clearly indicate the location, size, and character of each phase.
2. In the case of a phased development, a final site plan shall be submitted for review and approval for each phase.
3. A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, adequate utility services, or open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development.
4. The Township Planner or Planning Commission may require the applicant to post an acceptable performance guarantee to ensure that vehicular and pedestrian ways, utility services, open space and recreation facilities, and other amenities and infrastructure planned for later phases of the development are completed in a timely fashion.

**S. Standards for Site Plan Approval.**

In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Plan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	●	●	●
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	●	●	●
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			●
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	●	●	●
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		●	●
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		●	●
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	●	●	●
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		●	●
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		●	●
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		●	●
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			●
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			●
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	●		●
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	●		●
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	●		●
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			●
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			●
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	●		●

# PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

[Michigan.gov/EGLEpermits](http://Michigan.gov/EGLEpermits)

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: [Michigan.gov/EHSguide](http://Michigan.gov/EHSguide). Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

<b>How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?</b>	<b>Yes</b> <input type="checkbox"/>	<b>No</b> <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
3) Please consult the <u>Permitting at the Land and Water Interface Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? <b>Union Township Public Services Department</b> and <u>Drinking Water &amp; Environmental Health Division (DWEHD)</u> , 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and <u>WRD, Part 41 Construction Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) <b>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</b> Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township and Public Swimming Pool Program</b> , 517-284-6541, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <b>Union Township and DWEHD, Campgrounds program</b> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>



9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Drinking (Potable) Water Supply?</b>		
11) I am buying water from the municipal water supply system Contact the <b>Union Township Public Services Dept.</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <u>Community Water Supply</u> , <u>DWEHD District Office Community Water Supply Program</u> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Wastewater Discharge System?</b>		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <u>Oil, Gas and Minerals Division (OGMD)</u> , 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Operation and Air Emissions?</b>		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Waste Management?</b>		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <u>MMD</u> , 517-284-6588 or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Hazardous Waste Program Forms &amp; License Applications</u> ) MMD, <u>EGLE District Office</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Sector-Specific Permits May be Relevant to My Business?</b>		
<b>Transporters</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Sectors</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? <b>Union Township</b> and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Permits Do I Need to Add Chemicals to Lakes and Streams?</b>		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <u>Aquatic Nuisance Control</u> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <u>Petroleum Geology and Production Unit</u> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<u>Petroleum &amp; Mining</u> , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact **Union Township** and EGLE Permits & Bonding, OGMD, 517-284-6841



A CMS Energy Company

February 25, 2021

MT. Pleasant CG  
WO# 36252154

Charter Township of Union  
Att: Community and Economic Development  
2010 South Lincoln Road  
Mount Pleasant, MI 48858

RE: MT. Pleasant City Gate Pre-liminary Site Plan Review

Consumers Energy is proposing to rebuild our existing MT. Pleasant City Gate located on E Pickard RD, MT. Pleasant at the southwest corner of the intersection of E Pickard RD and S Summerton RD in Section 13, Town 14 North, Range 04 West, Union Township, Isabella County, Michigan.

Enclosed are the completed final site plan review application and final site plans.

Construction of the rebuild of the city gate is scheduled to begin in May 2021.

We request electronic credit card payment for this application, please forward the billing information to the email included in this letter below.

Consumers Energy Company continues to be committed to public safety and reliable service to their customers. Your cooperation will help us fulfill this commitment. Thank you for your assistance in this matter. If you should have any questions, or need additional information, please feel free to contact me at 517-745-2387, or via e-mail at [Courtney.e.killeen@cmsenergy.com](mailto:Courtney.e.killeen@cmsenergy.com).

*Courtney Killeen*

Courtney Killeen  
Real Estate – Acquisition Support  
Zoning and Permits

WORKING TO DELIVER THE ENERGY YOU NEED, WHENEVER YOU NEED IT.  
THAT'S OUR PROMISE TO MICHIGAN.

**From:** [Tim Warner](#)  
**To:** [Peter Gallinat](#)  
**Cc:** ["Doug Scott"](#)  
**Subject:** Consumers Energy - Storm Water Review  
**Date:** Friday, February 26, 2021 10:42:09 AM

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Peter;

We have conducted a preliminary review of the Storm Water Plan for the Consumers Energy site at M-20 and Summerton Road. We have discussed some changes we would like made to the storm water plan with Doug Scott, P.E., Project Engineer. Based on our discussion with Mr. Scott we believe the plan can be brought into compliance with the Union Township Storm Water Ordinance once the changes are completed.

If you have any questions, please contact me.

*Timothy A. Warner*

*Project Manager*

*Isabella County Drain Office*

*Rm 140, 200 N. Main Street*

*Mt. Pleasant, MI 48858*

*Ph# (989) 772-0911, ext. 222*

*Fax# (989) 779-8785*

















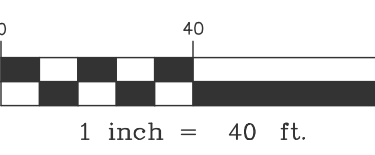
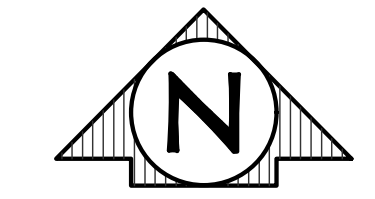






**LANDSCAPE NOTES:**

1. ALL LANDSCAPE MATERIALS SHALL BE HEALTHY AT THE TIME OF INSTALLATION.
2. CONTRACTOR SHALL SUPPLY FINISH GRADE AND EXCAVATE AS NECESSARY TO SUPPLY A MINIMUM 6" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL IN ALL LAWN AREAS UNLESS NOTED OTHERWISE.
3. ALL TOPSOIL SHALL BE IMPORTED AND SCREENED. EXISTING TOPSOIL MAY ONLY BE REUSED IF APPROVED BY THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE OWNER'S REPRESENTATIVE DURING AND AT THE END OF THE GUARANTEE PERIOD.
5. ALL PLANTINGS SHALL CONFORM TO ANSI 260.1 OR CURRENT EDITION.
6. AREAS SPECIFIED WITH PLANT MATERIAL SHALL BE FINE GRADED AND SEEDED FOR TURF ESTABLISHMENT.
7. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
8. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL NOT MEETING SPECIFICATIONS.
9. THE CONTRACTOR SHALL PLACE 4" OF SHREDDED BARK MULCH IN LANDSCAPE BEDS FOR SPECIFICATIONS.
10. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY ENVIRONMENT. THE OWNER SHALL MAINTAIN THE LANDSCAPING USING OWN STAFF OR CONTRACT WITH AN OUTSIDE LANDSCAPING SERVICE.

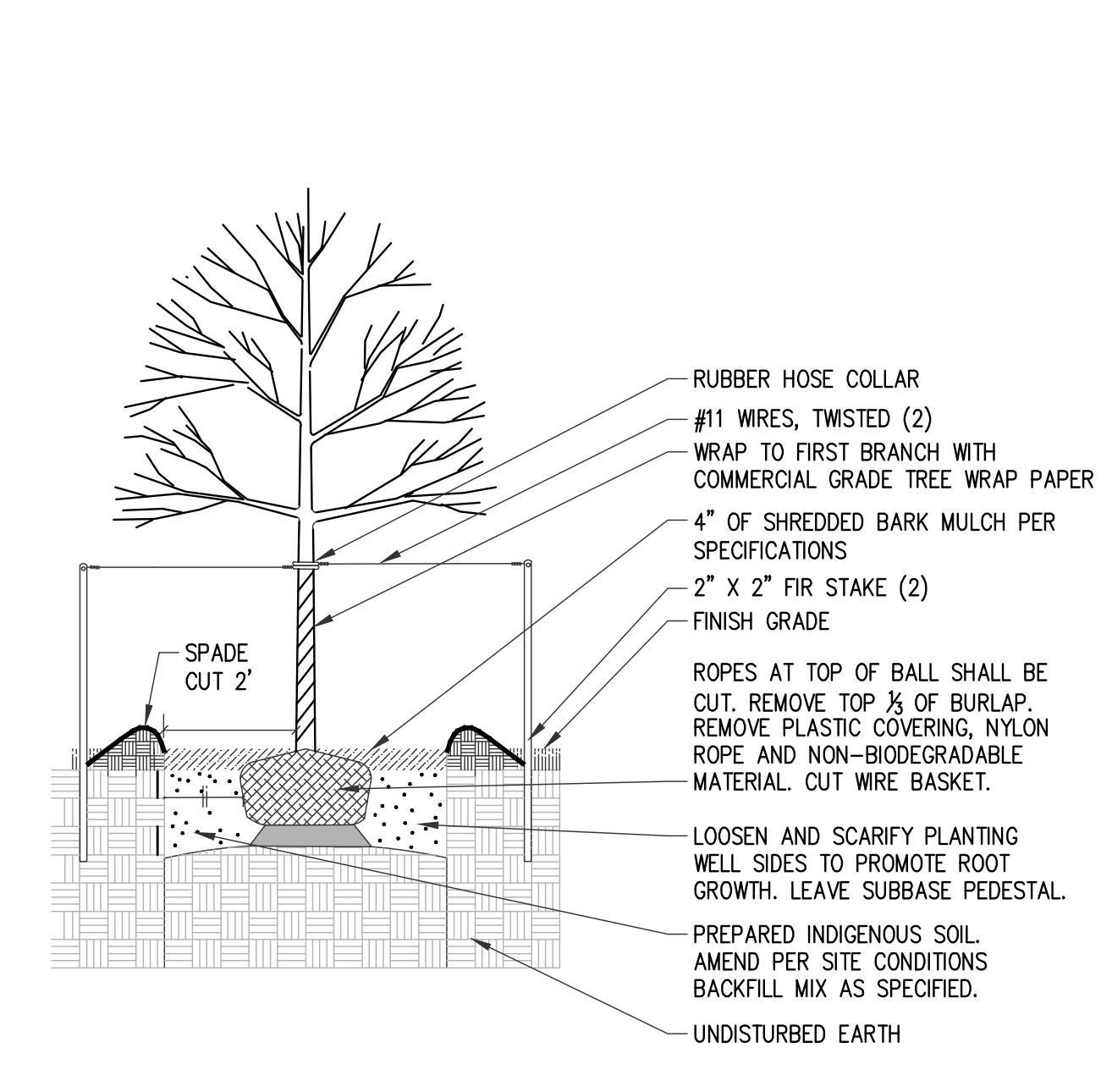
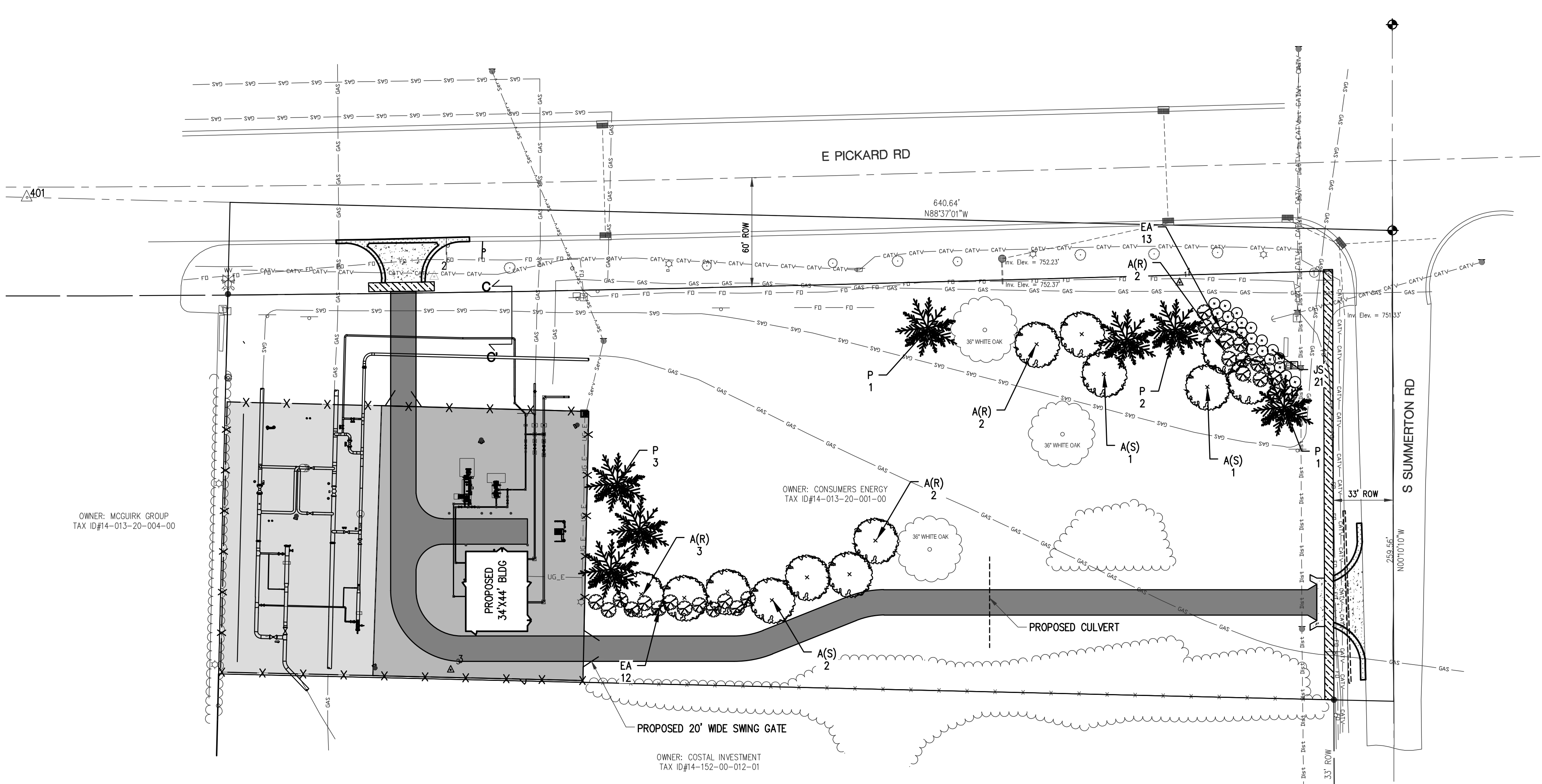


**LEGEND**

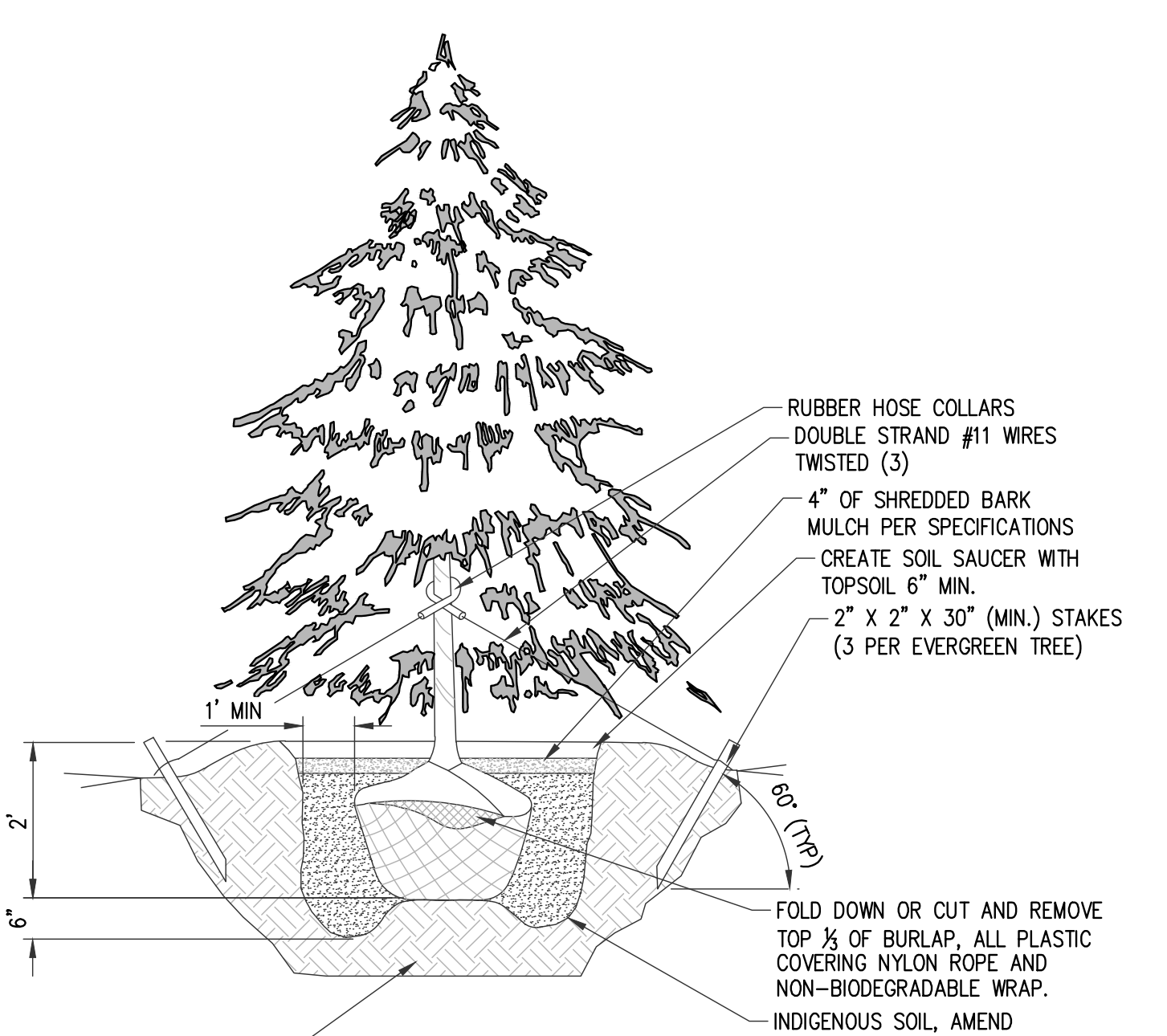
- ⊙ CARSONITE POST @ CORNER
- UTILITY POLE
- ☆ LIGHT POLE
- ↓ GUY ANCHOR
- TELEPHONE RISER
- ELECTRIC RISER
- SIGN
- POST (WOOD/METAL)
- ⊙ ABOVE GRADE VERTICAL PIPE
- ⊞ CURB INLET
- ◇ GASLINE MARKER
- ⊞ GAS VALVE
- ⊞ BLOWDOWN
- ELECTRICAL CONDUIT
- ⊞ SECTION CORNER
- FOUND/SET SURVEY
- ▭ EXISTING ASPHALT PAVEMENT
- ▭ EXISTING GRAVEL SURFACE
- ▭ PROPOSED GRAVEL YARD
- ▭ PROPOSED GRAVEL DRIVE
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ PROPOSED CONCRETE CURB
- ▭ PROPOSED CONCRETE SIDEWALK
- ▭ EXISTING CONCRETE PAVEMENT
- x—x— EXISTING CHAIN LINK FENCE
- x— PROPOSED SWING GATE
- Dist—Dist— DISTRIBUTION OVERHEAD
- FD— FIBER OPTIC
- CATV— CATV— CABLE
- STORM SEWER
- PROPOSED CULVERT
- H2O— H2O— WATER MAIN
- TELEPHONE OVERHEAD
- GAS— UNDERGROUND GAS
- ~~~~~ TREE / BRUSH LINE
- ⊞ ELECTRICAL BOX

TREE SCHEDULE						
SYM	KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
⊙	A(R)	2½" CAL.	ACER RUBRUM	RED MAPLE	B & B	9
⊙	A(S)	2" CAL.	ACER SACCHARUM	SUGAR MAPLE	B & B	4
⊙	P	6' HT.	PICEA ABIES	NORWAY SPRUCE	B & B	7

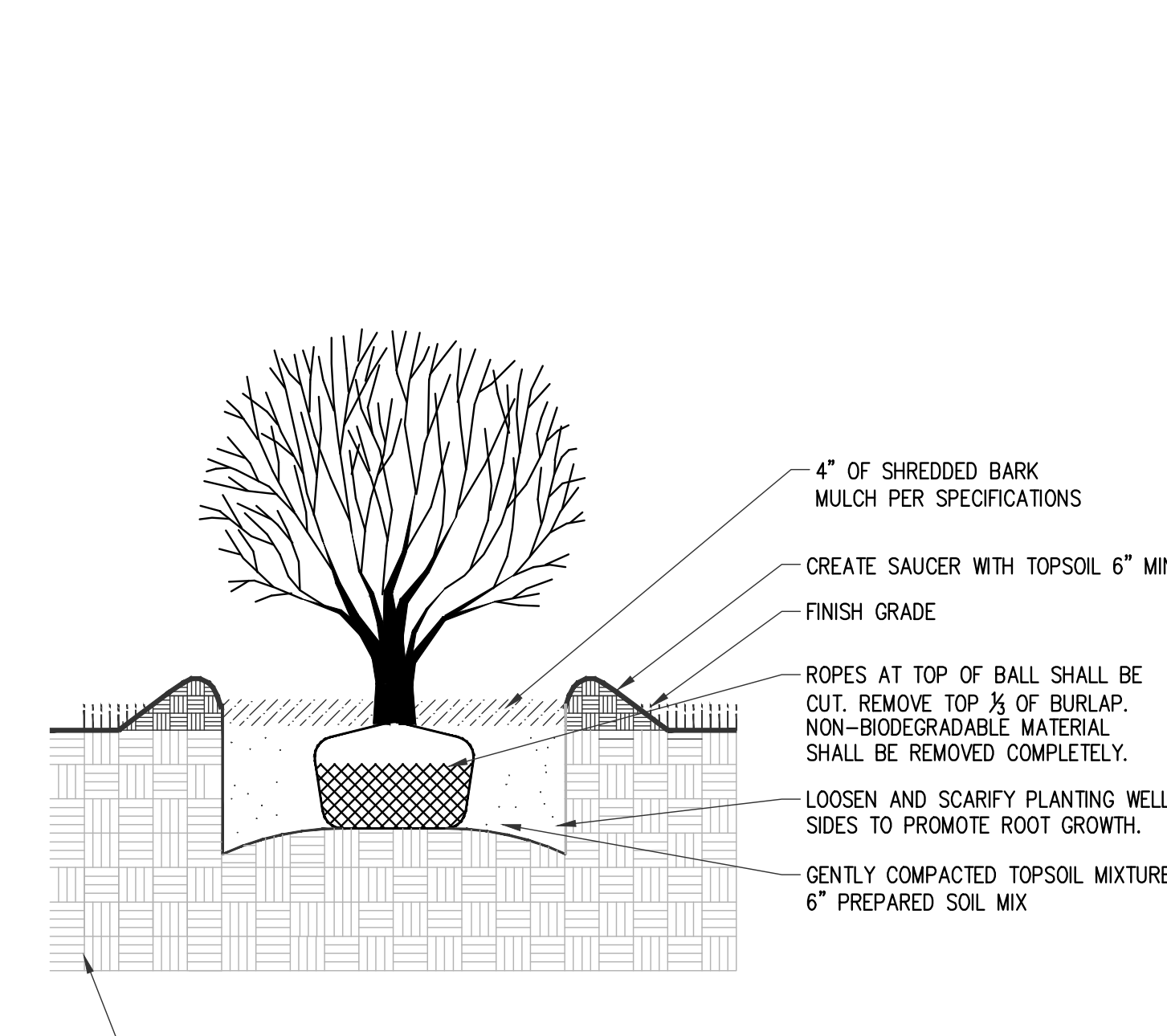
PLANT SCHEDULE					
SYM	KEY	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
⊙	EA	EUONYMUS ALATA 'COMPACTA'	COMPACT BURNING BUSH	B & B; 4' HT.	25 @ 6' SPACING
⊙	JS	JUNIPERUS SABINA	BUFFALO JUNIPER	NO. 5 CONT.; 18" HT.	21 @ 4' SPACING



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL EVERGREEN PLANTING DETAIL**  
NOT TO SCALE

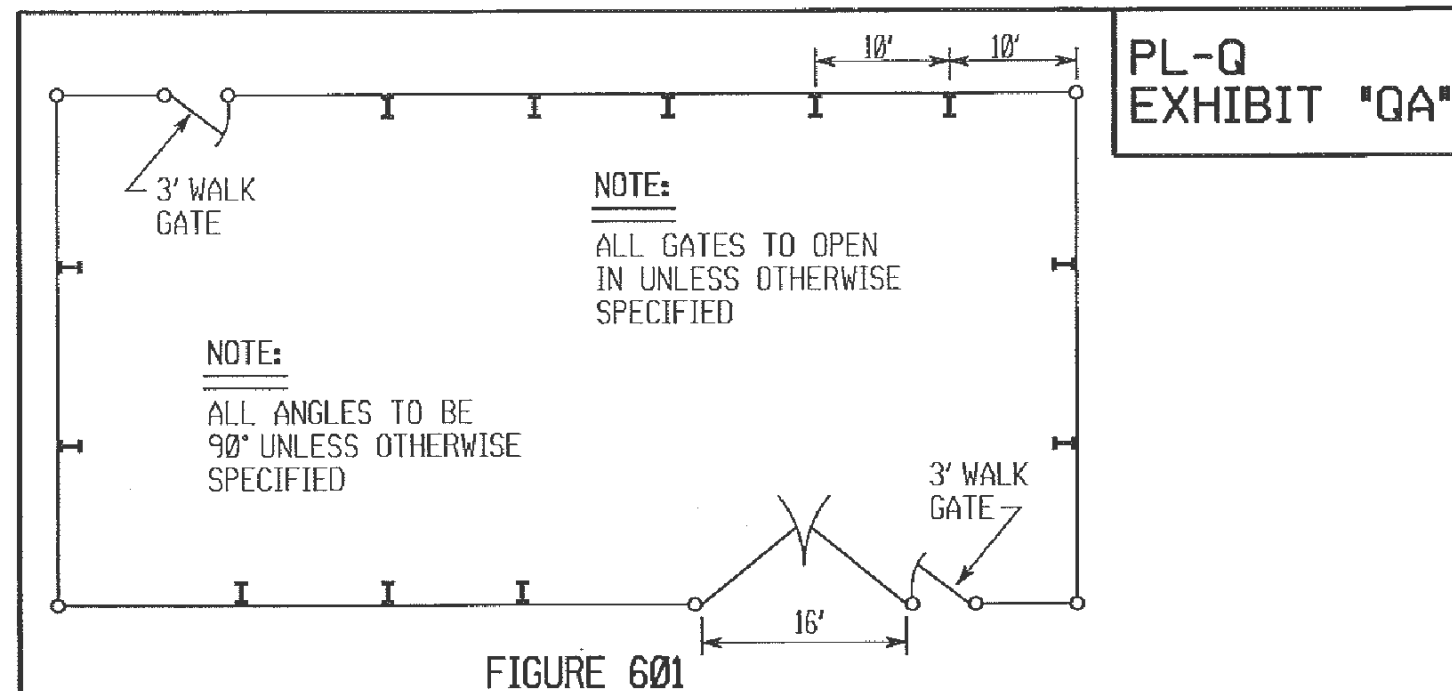


**SHRUB PLANTING DETAIL**  
NOT TO SCALE

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO
											12/21	REVISED PER TWP REQUIREMENTS		BDS	KEL	BDS	DAS	DAS

		MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION	
		LANDSCAPING SHEET	
GEO-SPATIAL & GAS ASSET MANAGEMENT		FIELD AREA:	
FILE: -- RASTER FILE:		PROJECT # 20C0219	
SCALE 1" = 40'		DRAWING NO. C-0251-SPL	
SHEET 4		STA. NO. ---	





PL-Q  
EXHIBIT "QA"

FIGURE 601  
TYPICAL FENCE LAYOUT PLAN

A DRAWING SIMILAR TO FIGURE 601 SHALL ACCOMPANY ALL FENCE ORDERS. THE DRAWING SHALL INDICATE ALL FENCE ANGLES ALSO GATES AND REMOVABLE SECTIONS SIZES AND LOCATIONS. REFER TO EXHIBITS "QA" THROUGH "QE" FOR MATERIAL, FABRICATION AND ERECTION DETAILS.

NAME OF PART	NOMINAL PIPE SIZE	POST DEPTH IN FOOTING	MINIMUM FOOTING DIMENSIONS		
			TOP DIA	BOTTOM DIA	FOOTING DEPTH
LINE POST	SEE NOTE 2	3'-0"	0'-10"	1'-2"	4'-0"
CORNER POST	4	3'-0"	1'-0"	1'-4"	4'-0"
END AND ANGLE POST	4	3'-0"	1'-0"	1'-4"	4'-0"
SINGLE GATE POST, WIDTH 6' AND UNDER	3	3'-0"	1'-0"	1'-4"	4'-0"
SINGLE GATE POST, WIDTH OVER 6' TO 13'	4	4'-0"	1'-4"	2'-0"	4'-0"
DOUBLE GATE POST, WIDTH 12' AND UNDER	3	3'-0"	1'-0"	1'-4"	4'-0"
DOUBLE GATE POST, WIDTH OVER 12' TO 26'	4	4'-0"	1'-4"	2'-0"	4'-0"
SLIDE GATE POST WIDTH 24' AND UNDER	4	4'-0"	1'-4"	2'-0"	4'-0"
GATE AND REMOVABLE SECTION FRAME	2				
TOP RAIL	1 1/4				
BRACE	1 1/4				
REMOVABLE POST	2 1/2		1'-5"	1'-5"	3'-0"
GATE PLUNGER STOP (OR CATCH)			0'-10"	1'-2"	3'-0"
GATE KEEPER			0'-7"	0'-10"	3'-0"

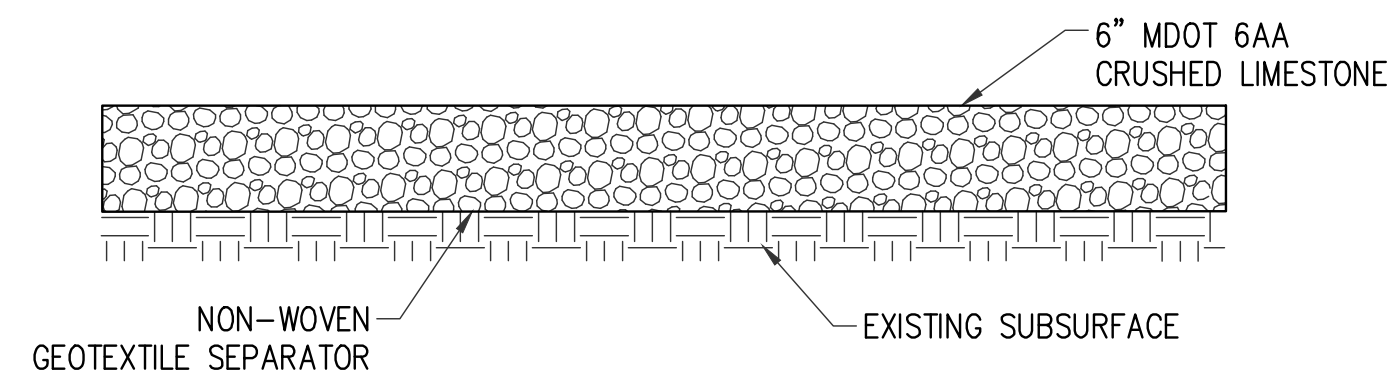
FIGURE 602

- NOTES:
- ALL DIMENSIONS ARE IN INCHES EXCEPT AS NOTED.
  - EITHER 2 1/4" X 3.26 LB/FT H BEAM OR 2 1/2" PIPE MAY BE USED.

REFERENCES: A-15083

FENCE DETAILS

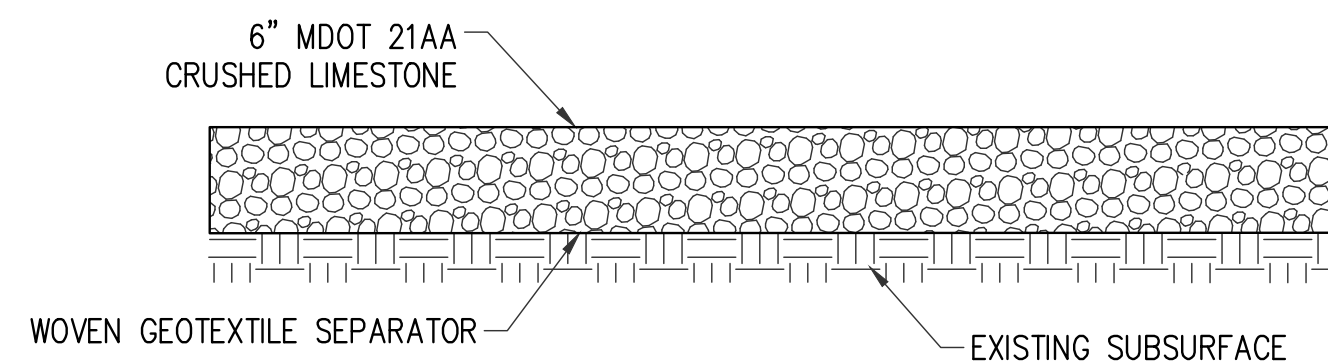
NOT TO SCALE



- NOTES:
- NON-WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI 180N, SYNTHETIC INDUSTRIES 801 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
  - THIS CROSS SECTION WILL BE USED FOR THE ENTIRE YARD SURFACE, EXCEPT FOR AREAS DESCRIBED AS DRIVEWAYS, AS SHOWN ON THE SITE DRAWINGS.

AGGREGATE SURFACE CROSS SECTION (YARD)

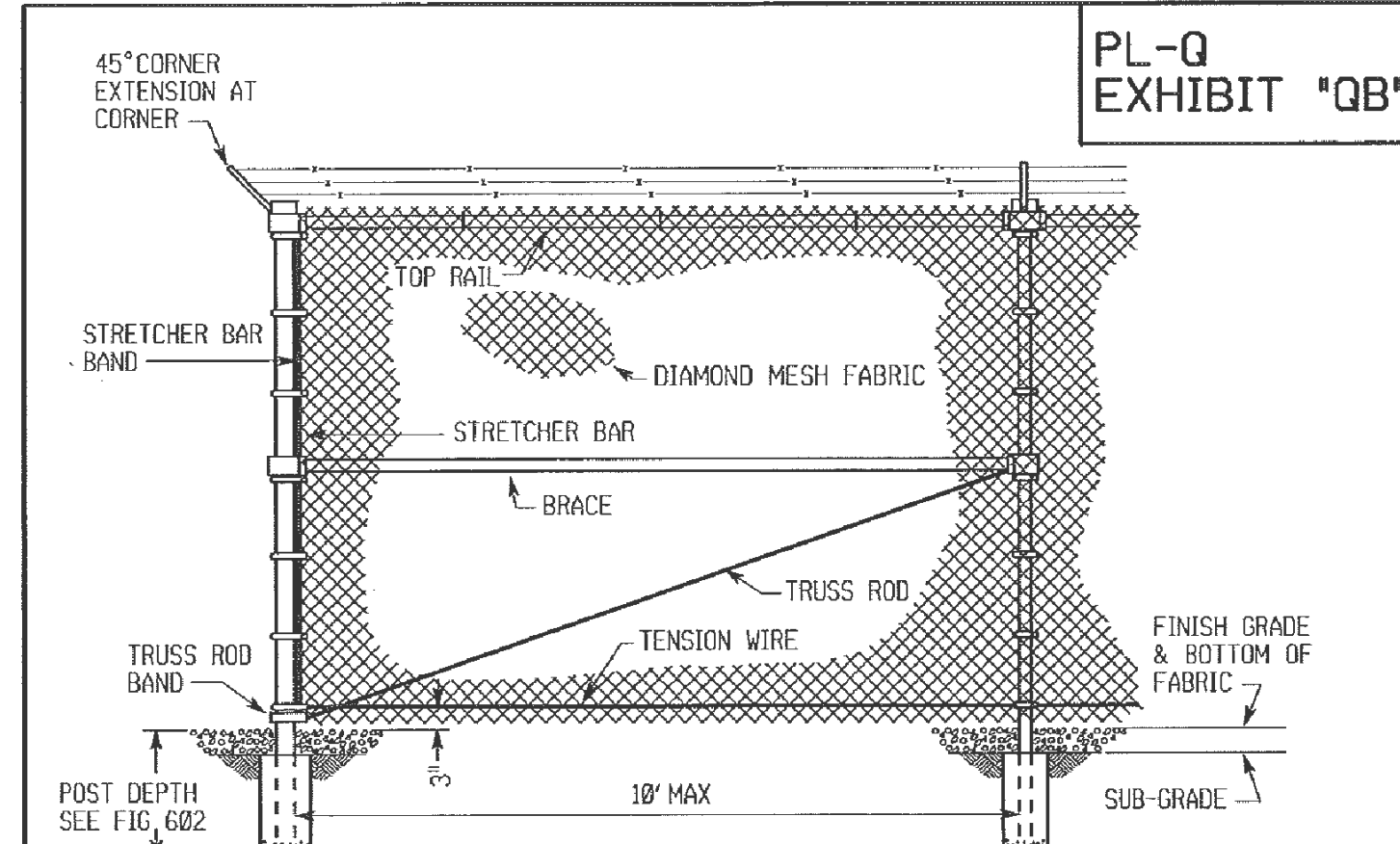
NOT TO SCALE



- NOTES:
- WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI HP 370 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
  - THIS CROSS SECTION WILL BE USED FOR ALL DRIVEWAY SURFACES, AS SHOWN ON THE SITE DRAWINGS.

AGGREGATE SURFACE CROSS SECTION (DRIVEWAY)

NOT TO SCALE



PL-Q  
EXHIBIT "QB"

FIGURE 701  
TYPICAL FENCE CORNER

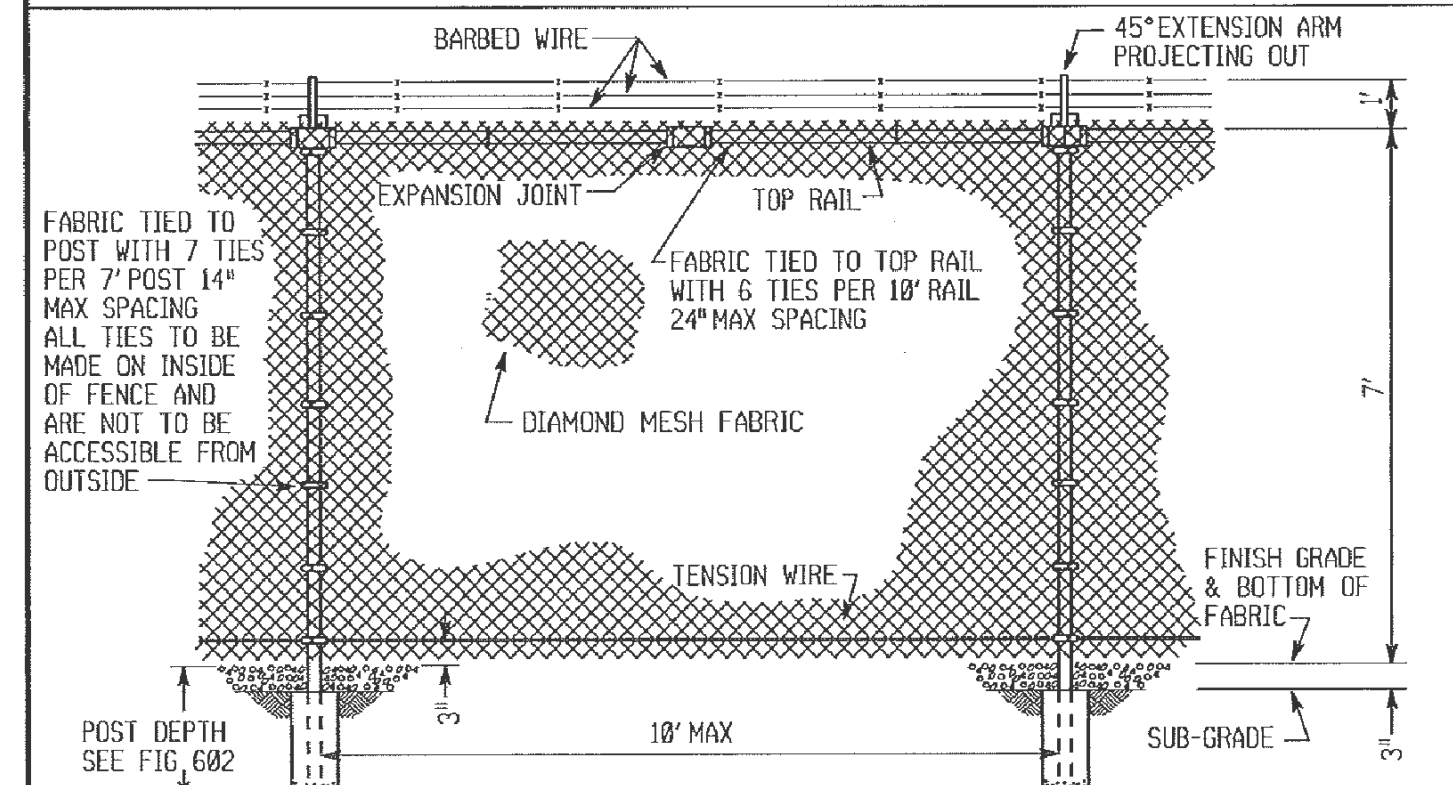
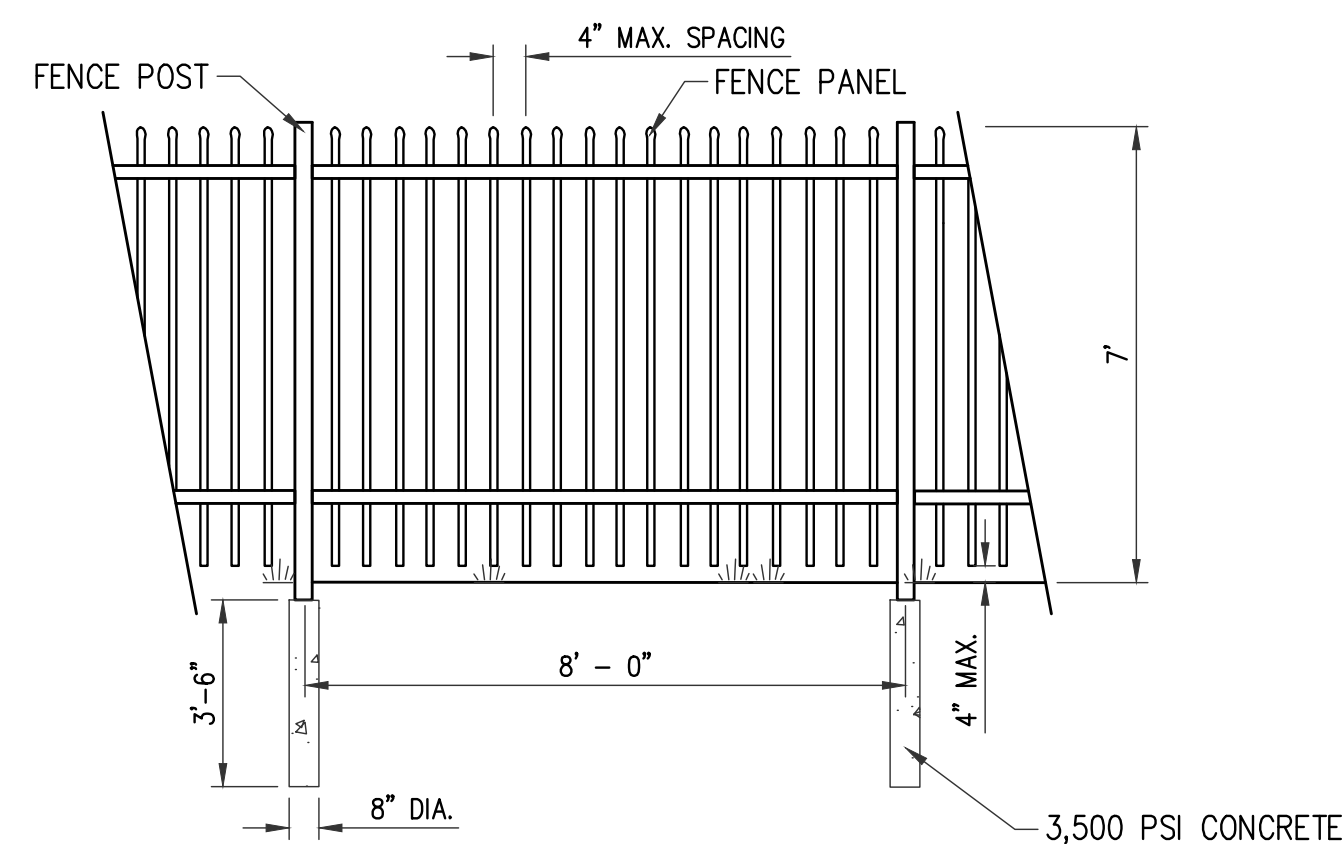


FIGURE 702  
TYPICAL FENCE LINE SPAN

- NOTE:
- SEE FIG 602 FOR FOOTING DEPTH & DIAMETER

FENCE DETAILS

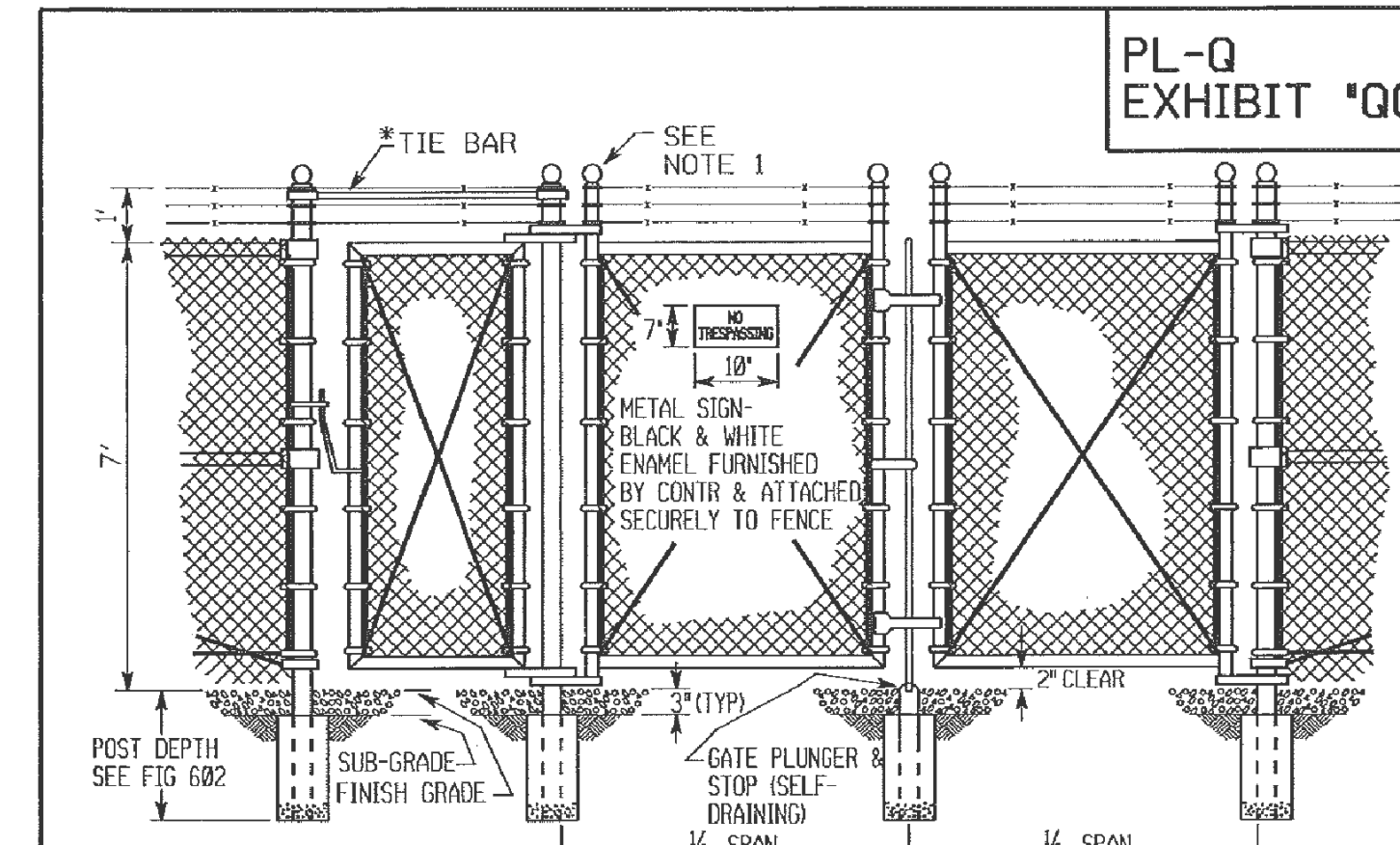
NOT TO SCALE



ORNAMENTAL FENCE DETAIL

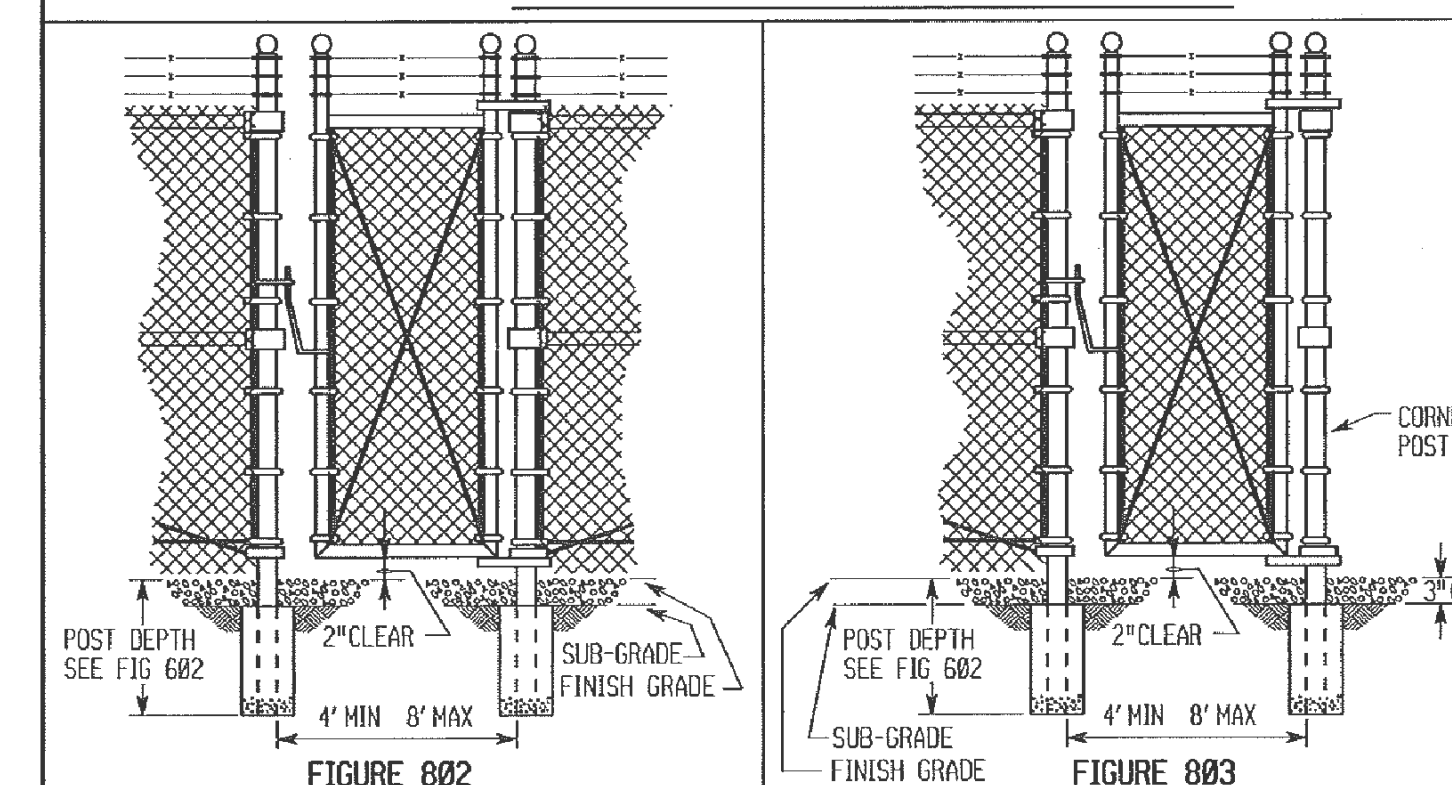
NOT TO SCALE

- NOTES:
- SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.
  - ORNAMENTAL FENCE SHALL BE METAL FENCING, BLACK, LIGHT COMMERCIAL STEEL, VARIOUS HEIGHTS WITH VERTICAL PICKETS AND HORIZONTAL RAILS.
  - GATES SHALL BE OF THE DIMENSION AND CONFIGURATION SHOWN ON THE PLANS. SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.



PL-Q  
EXHIBIT "QC"

FIGURE 801  
TYPICAL DOUBLE SWING DRIVE GATE & WALK GATE

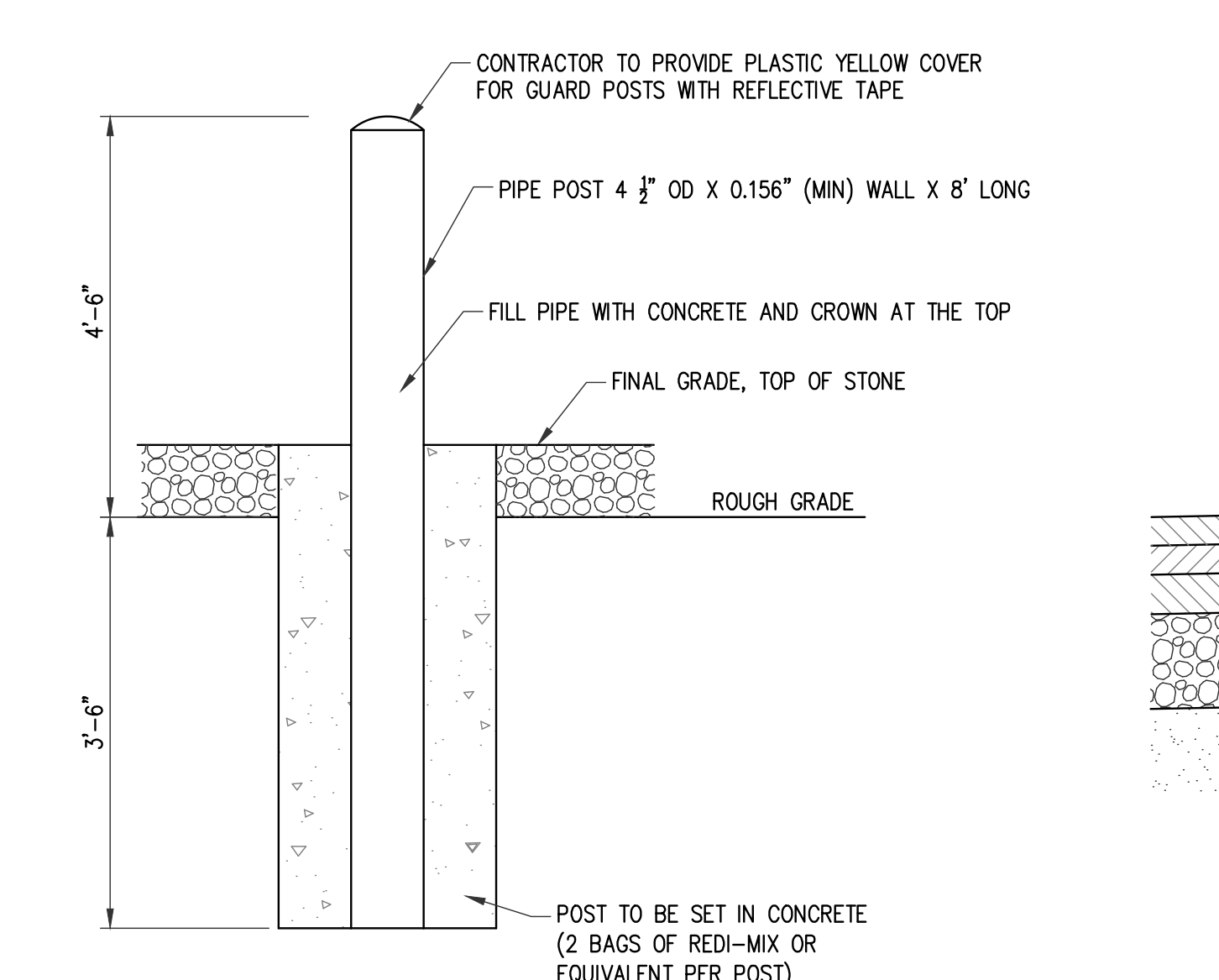


REFERENCES: A-15085

- NOTES:
- A WATER SHEDDING FITTING & VERTICAL EXTENSION SHALL BE PROVIDED ON TOP OF EACH GATE POST & GATE FRAME.
  - SEE FIG 602 FOR FOOTING DEPTH & DIAMETER

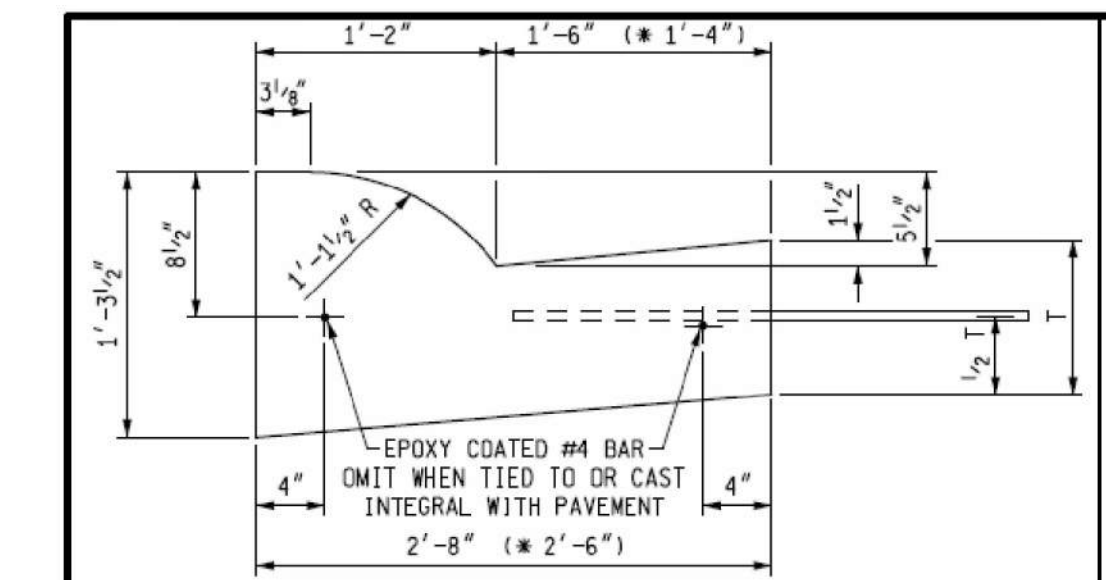
FENCE DETAILS

NOT TO SCALE



BOLLARD DETAIL

NOT TO SCALE

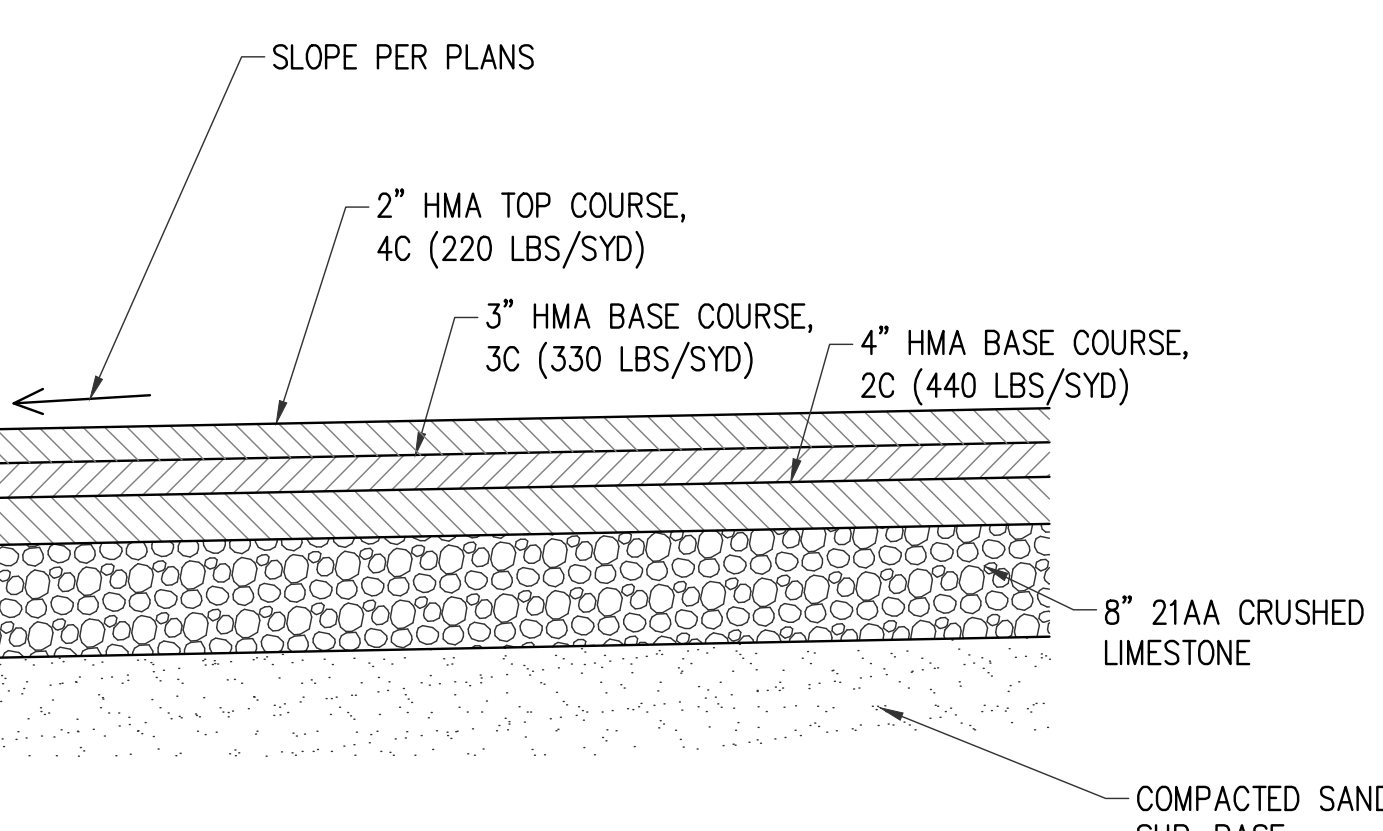


NOT TO SCALE

CONCRETE SIDEWALK CROSS SECTION

NOT TO SCALE

- NOTE:
- WHEN SIDEWALK CROSSES A DRIVEWAY 6" THICK CONCRETE PAVEMENT MDOT P1/S2 (3500 PSI) SHALL BE USED.



HMA DRIVEWAY CROSS SECTION

NOT TO SCALE

- NOTES:
- HMA REPLACEMENT WITHIN ANY ROADWAY CUTS SHALL MATCH THE EXISTING HMA THICKNESS.

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	
											12/21		REVISED PER TWP REQUIREMENTS						

	MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION	
	SITE DETAIL SHEET	
	FIELD AREA:	
	PROJECT # 20C0219	DRAWING NO. C-0251-SAD
GEO-SPATIAL & GAS ASSET MANAGEMENT	STA. NO. ---	SHEET 5
FILE: --- RASTER FILE: ---	SCALE: N.T.S.	SHEET REV

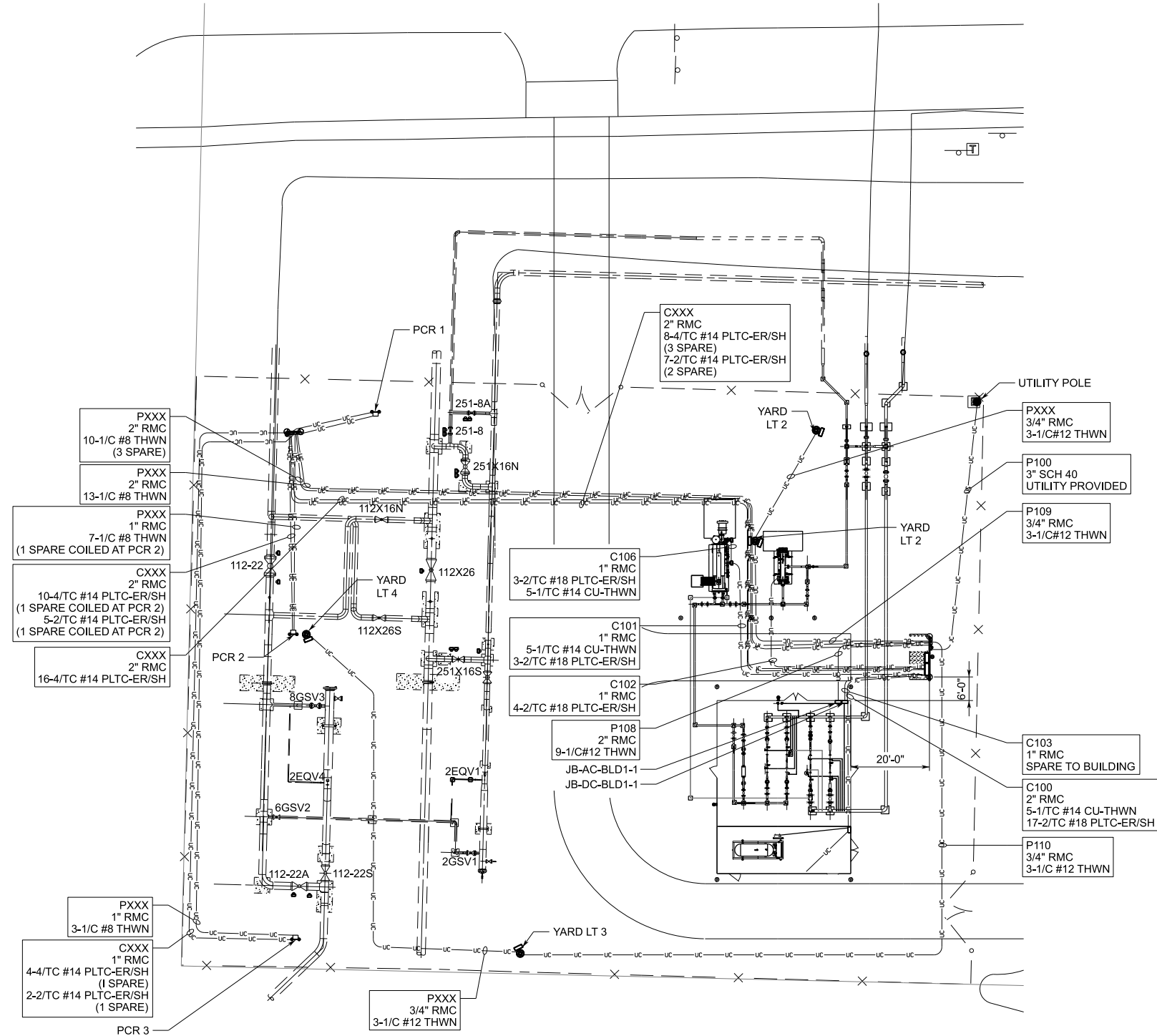
DO NOT SCALE DRAWING USE DIMENSIONS ONLY







TRENCHING DETAILS					
TRENCH	APPROX. LENGTH	MINIMUM DEPTH	CONDUITS	FROM	TO
A	90 FT	24 IN	TBD	NORTH/EAST FENCE CORNER	SOUTH/EAST FENCE CORNER
B	45 FT	24 IN	P102 C101 GND.	RTU RACK	CENTERLINE OF YARD LT 1 PARALLEL TO BLDG
C	55 FT	24 IN	TBD	TRENCH B	YARD LT 1
D	15 FT	24 IN	TBD	TRENCH C	JB-DC-FS-1
E	15 FT	24 IN	TBD	TRENCH C	JB-DC-HTR-1
F	10 FT	24 IN	TBD	TRENCH B	REGULATION BUILDING
G	110 FT	24 IN	TBD	YARD LT 1	YARD LT 2
H	115 FT	24 IN	TBD	TRENCH A SOUTH/EAST FENCE CONER	YARD LT 3



**APPROVED**  
**FOR 50% COMMENTS**  
 DATE: 09/21/20

**REDLINE INFORMATION**  
 TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED  
 SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY  
 NAME: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 COMPANY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 RFI #: \_\_\_\_\_

MT. PLEASANT CITY GATE  
 2021 CONSTRUCTION

MT PLEASANT CITY GATE  
 & PIPELINE SITE  
 ELECTRICAL SITE PLAN

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES.	ENG.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES.	ENG.	CO

DRAWN W RAKIETEN DATE 5/19/20  
 CHECKED RICHARD KNOX DATE  
 DESIGNED W RAKIETEN DATE 5/19/20  
 DESIGN APPROVAL RENEE LYNDE DATE  
 ENGINEER APPROVAL KYLE BRAYTON DATE

**Consumers Energy**  
 Count on Us®  
 GEO-SPATIAL & GAS ASSET MANAGEMENT  
 Transmission Pipeline Department

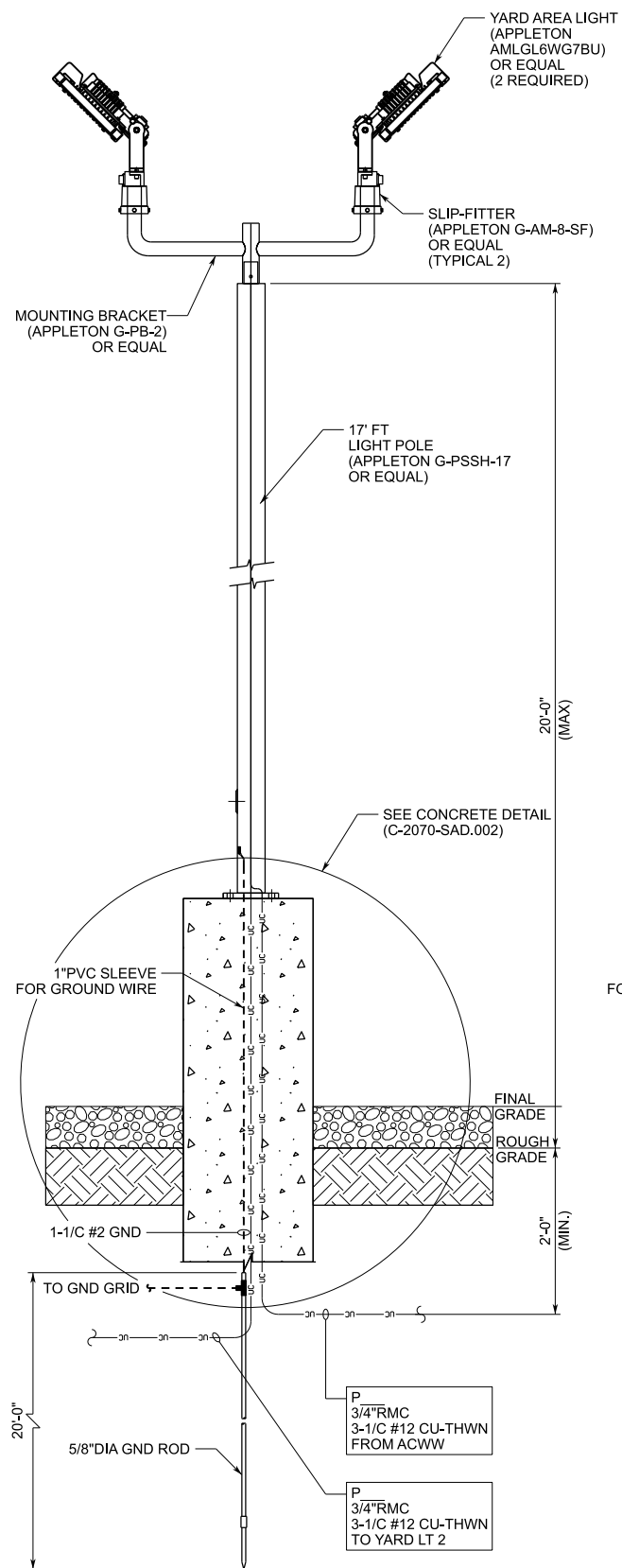
FILE: 400251E0251-SPL\_001.dgn  
 RASTER FILE:

SCALE 1/16" = 1'-0"

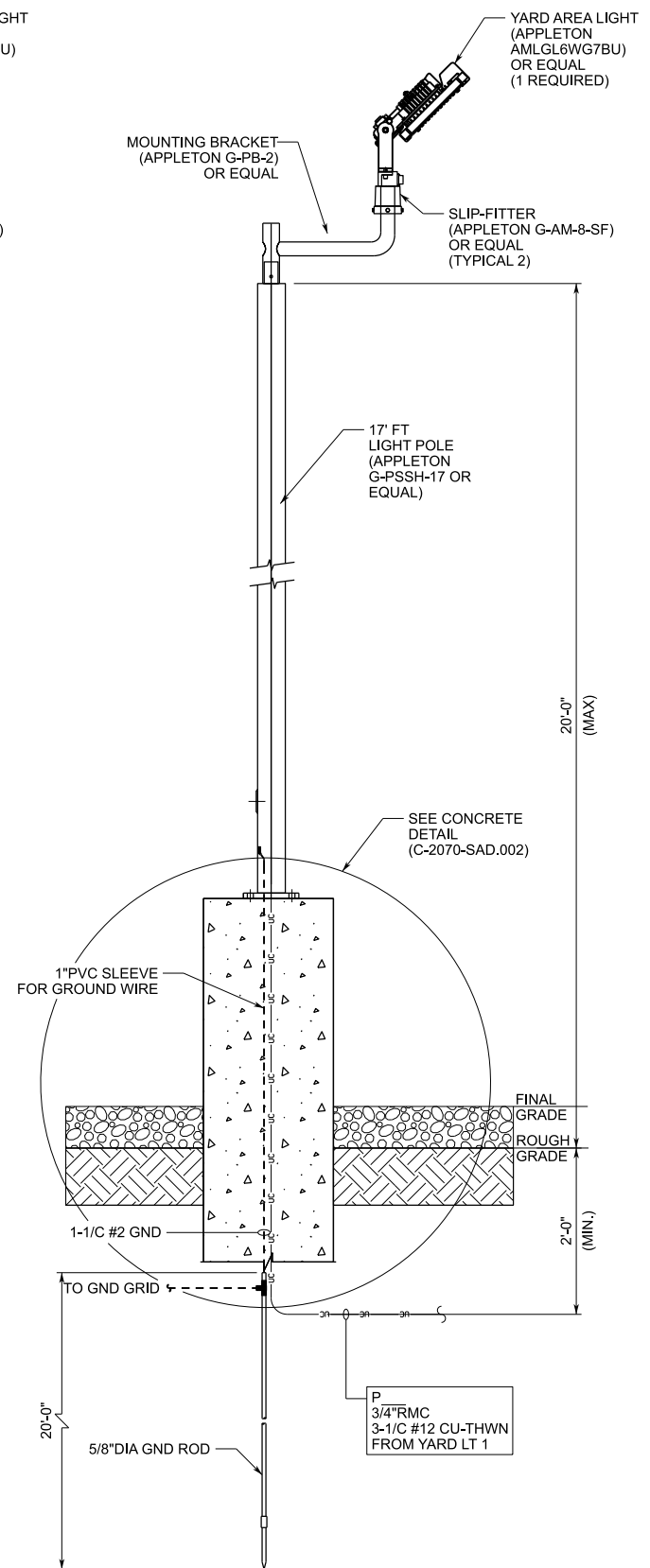
FIELD AREA: ALMA	PROJECT # GM-00789	DRAWING NO. E-0251-SPL	SHEET 1	REV 5
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DO NOT SCALE DRAWING USE DIMENSIONS ONLY

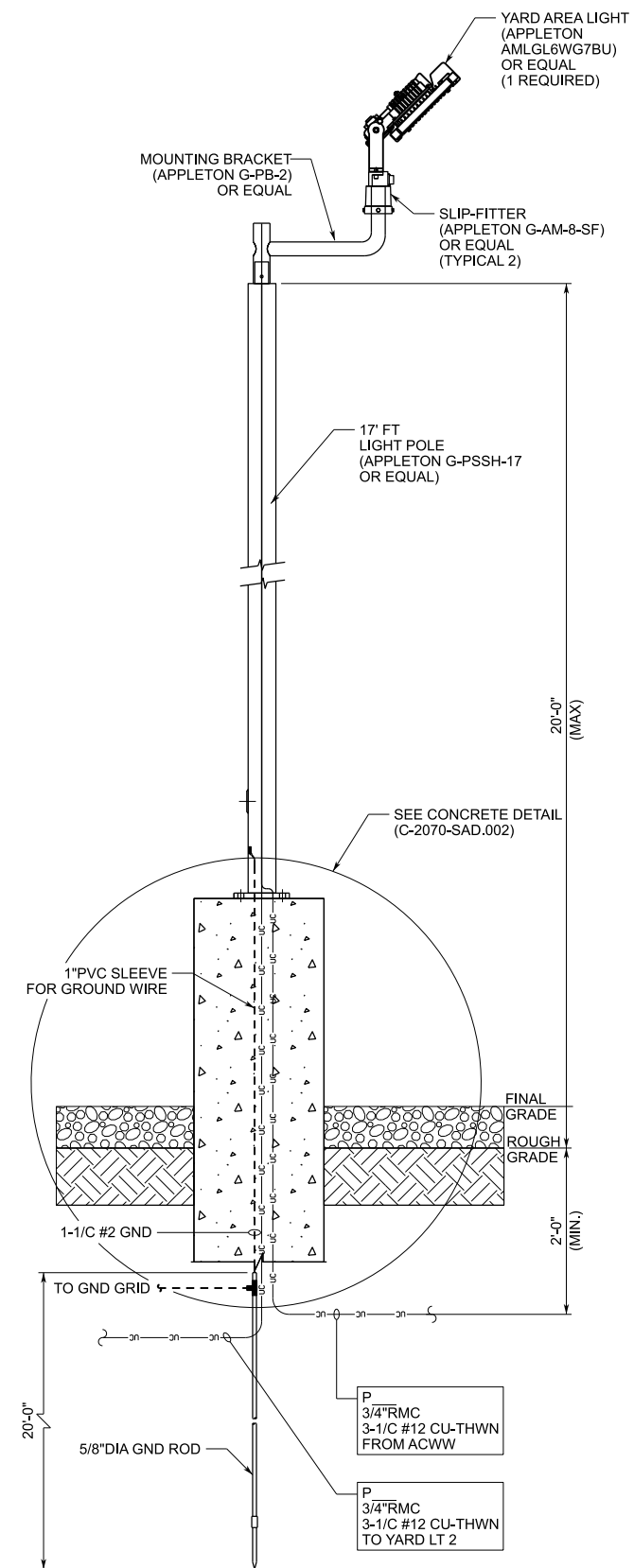




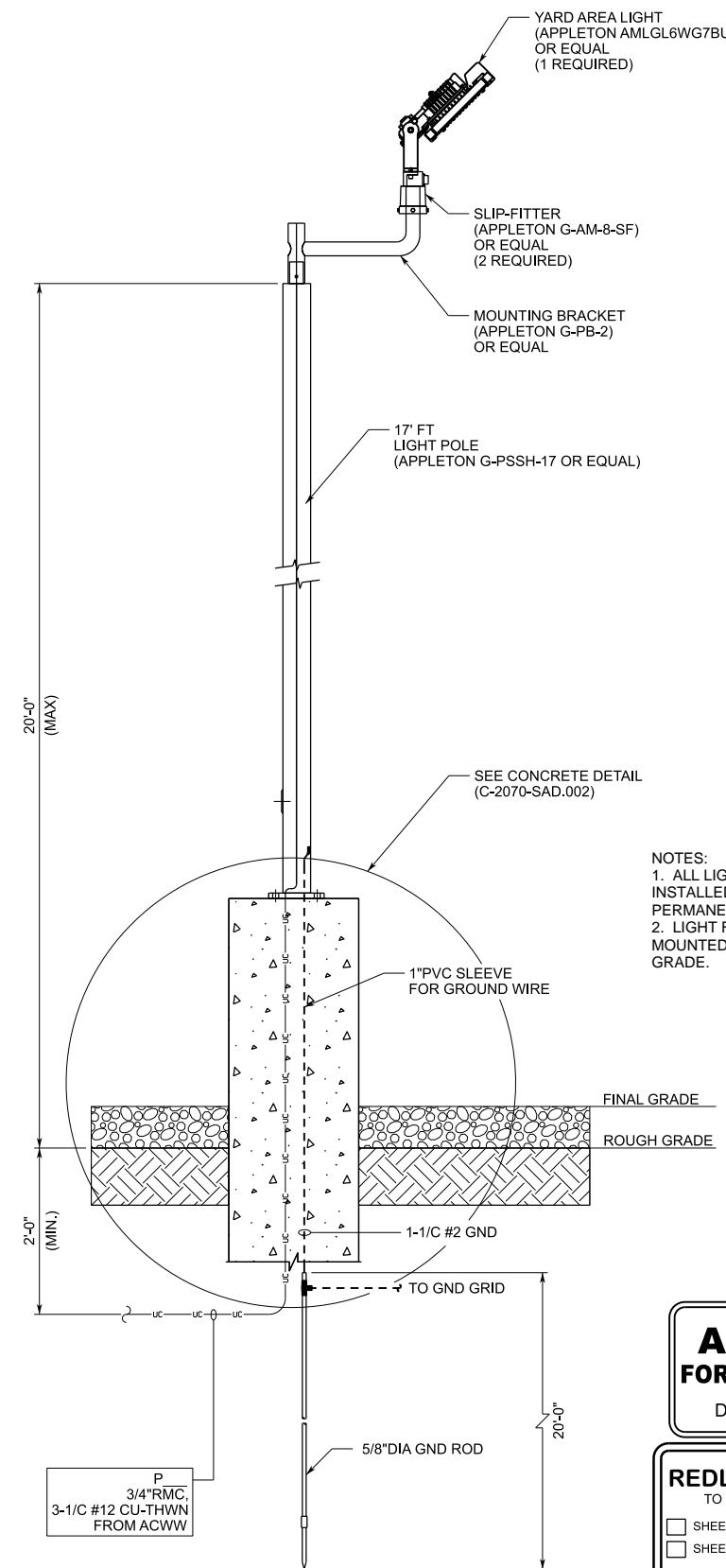
**YARD LIGHT 1** SEE SPL.001



**YARD LIGHT 2** SEE SPL.001



**YARD LIGHT 3** SEE SPL.001



**YARD LIGHT 4** SEE SPL.001

**NOTES:**  
 1. ALL LIGHT FIXTURES WILL BE INSTALLED SO THAT THE FIXTURE IS PERMANENTLY POINTED DOWNWARD.  
 2. LIGHT FIXTURES SHALL BE POLE MOUNTED A MAXIMUM OF 20' ABOVE GRADE.

**APPROVED FOR 50% COMMENTS**  
 DATE: 09/21/20

**REDLINE INFORMATION**  
 TO BE FILLED OUT BY REDLINER  
 SHEET COMPLETED AS MARKED  
 SHEET COMPLETED AS ORIGINALLY DRAWN  
 REDLINE PERFORMED BY  
 NAME: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 COMPANY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 RFI #: \_\_\_\_\_

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO

DRAWN: W RAKIETEN DATE: 09/02/2020  
 CHECKED: RA KNOX DATE: \_\_\_\_\_  
 DESIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DESIGN APPROVAL: RL LYNDE DATE: \_\_\_\_\_  
 ENGINEER APPROVAL: KS BRAYTON DATE: \_\_\_\_\_

**Consumers Energy**  
 Count on Us®  
 GEO-SPATIAL & GAS ASSET MANAGEMENT  
 Transmission Pipeline Department  
 FILE: 400251E0251-CDS.029.dgn  
 RASTER FILE: \_\_\_\_\_  
 SCALE: 1" = 1'-0"

**MT PLEASANT CITY GATE 2021 CONSTRUCTION**

**YARD LIGHT CONDUIT DETAILS**

FIELD AREA: ALMA  
 PROJECT # GM-00789  
 DRAWING NO. E-0251-CDS  
 SHEET 29  
 STA. NO. \_\_\_\_\_  
 REV. \_\_\_\_\_

DO NOT SCALE DRAWING USE DIMENSIONS ONLY

**Draft Motions: PSPR 21-05 Consumers Energy Final  
Site Plan Review Application**

**MOTION TO APPROVE:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 21-05 final site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 located on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the northeast quarter of Section 13 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the "February 2021" site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

**MOTION TO APPROVE WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 21-05 final site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 located on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the northeast quarter of Section 13 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the "February 2021" site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. A building permit will be required for this project.
2. A photometric plan for the proposed exterior lighting illumination levels within the site shall be required to be provided with the building permit application for the proposed building and proposed seven foot high ornamental fence.

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**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PSPR 21-05 final site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 until \_\_\_\_\_, 2021 for the following reasons:

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**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the PSPR 21-05 final site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 located on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the northeast quarter of Section 13 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the "February 2021" site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

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## **PARKS AND RECREATION MASTER PLAN UPDATE**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	March 9, 2021
<b>FROM:</b>	Rodney C. Nanney, AICP. Community and Economic Development Director		
<b>PROJECT:</b>	Parks and Recreation Master Plan Update – Public Input Options		

### **Background Information**

To be eligible for state recreation grants, the “*Guidelines for the Development of Community Park, Recreation, Open Space and Greenway Plans*” established by the Michigan Department of Natural Resources (MDNR) require that the process of preparing an up-to-date Parks and Recreation Master Plan includes robust opportunities for public input. As noted in the attached excerpt from these guidelines, at least two (2) different means of public input must be incorporated into the planning process. To maximize the scope and benefit of public input and opportunity for residents and others to have real influence on the plan’s development, it is recommended that the planning process should exceed the minimum requirements for public input.

### **Public Input Options**

A formal review period and public hearing on the draft plan are required under the guidelines and would satisfy part of the public input requirements. However, public hearings are often poorly attended, despite the public notice and publication requirements. Public input opportunities during regular Commission meetings can also provide an opportunity for input, but alone this is not sufficient to satisfy the guidelines.

The following is a summary of various options for additional public input that could be included in the plan development process. Please note that commission members may be asked to play integral roles in helping to ensure the success of these public input opportunities:

#### **Workshop/Visioning Session**

The Township can engage the community through a workshop or visioning session. This type of public input works best in-person. This is a very effective way to hear from interested parties, provided that a space like the Commission on Aging facility is available and there is time and ability to promote the session broadly. The most significant challenge with this format today is that COVID19-related social distancing would inhibit the ability to hold group discussions. As noted in the sample workshop agenda (attached), individual planning commission member participation will be essential for the success of this type of session.

❑ **Focus Groups**

The Township can conduct focus group discussions with various interests (senior citizens, children, youth, young families, specific neighborhoods, etc.) for gathering the community’s opinion on specific issues, proposals, or the community vision. These group discussions can be held in-person or as electronic meetings. Groups may be organized based on expertise, interest or background to allow for focused discussion related to a specific topic. The key to the success of these group discussions would be the work necessary beforehand to identify who to invite and the questions or topics that would be addressed by each group. Individual planning commission member participation will also be essential for the success of these group discussions.

❑ **Community-Wide Survey**

The Township can conduct a community-wide survey to help identify key citizen concerns and priorities. These surveys provide valuable direction related to various topic areas and can be distributed through various means to ensure the broadest reach, based on the nature of the target group (e.g., mail, e-mail, website access, copies available at Township facilities). The key to success of any community-wide survey is to keep it short and make it as easy as possible for the broadest range of interested parties to respond.

❑ **Targeted Surveys**

Surveys can also be targeted to specific groups (such as schoolchildren or specific neighborhoods near a park facility).

❑ **Open House Events**

Static displays and/or manned booths with information, surveys or activities can be set up in a park, at the Township Hall or at other suitable locations to invite passers-by and visitors to provide input and have questions answered. Individual planning commission member participation will be essential for the success of this type of public input.

❑ **Presentations and One-on-One Interviews**

The Planning Commission can invite individuals and interest groups to make presentations or engage in a focused discussion with the Commission on a specific topic of interest. Township staff may also hold interviews with various stakeholders to get specific information on a topic. The key to the success of this option is the preparation work to identify persons to interview, and to ensure a broad and inclusive selection of presenters.

**Recommendation**

Staff would recommend that the Commission review and consider the various options for public input and to identify your preferences – and any of the options that you would prefer not to use.

## **PARKS AND RECREATION PLAN WORKSHOP PROPOSED AGENDA**

### **1. WELCOMING REMARKS AND INTRODUCTIONS**

*5 minutes*

The Moderator will kick off the meeting. The planning commissioners should gather near the rear of the room to strategize about who will start at which table.

### **2. GET TO KNOW YOU**

*10 minutes*

The Moderator will let everyone know that this part of the program is about to begin and what is going to occur. At this time, the small group facilitators (planning commissioners) should head to their respective groups. When the time begins, lead the group through the exercise. The Moderator will give a 2-minute warning, and then announce when time is up. At that time, please instruct everyone to turn towards the front.

### **3. BACKGROUND – WHY CREATE A PARKS AND RECREATION PLAN?**

*10 minutes*

The Moderator will give a brief background of the parks and recreation plan, the purpose of the meeting, and the information we have learned so far. The planning commissioners are welcome to take a seat anywhere.

### **4. LARGE GROUP SURVEY AND PLANNING EXERCISE**

*30 minutes*

The participants will take part in a survey using a combination of a planning exercise, responses to written questions, and visual materials (maps, photographs, etc.) displayed on a large screen. Planning commissioners are invited to participate. However, some of you may be asked to assist with the distribution and collection of survey forms and pencils.

### **5. BREAK**

*5 minutes*

### **6. SMALL GROUP DISCUSSION**

*up to 55 minutes*

The small group discussion is intended to use a "focus group" format facilitated by individual planning commissioners assisted by the Township staff to consider three or four specific policy- or park development-related questions in more detail. Planning commissioners who will be facilitating the small group discussions will now go to their small groups and get ready to begin. The Moderator will give a brief introduction to explain the process and the purpose. Then, the facilitators will take over. After 10-15 minutes, the participants will rotate to the next table and repeat the process.

### **7. NEXT STEPS, QUESTIONS, AND WRAP UP**

*10 minutes*

The Moderator will reconvene the whole group and summarize the results of the workshop. The top ideas will be posted on the wall. Participants will have an opportunity to vote on their favorites. Facilitators will be asked to present the top ideas in their category and describe any themes or main ideas that continued to come up or were present throughout all of the discussions. After the voting, the Moderator will wrap up the session, present the results, and give a preview of what is to come in the planning process.

## Public Input Process

In this section, describe the methods used to incorporate public input into your recreation planning process. Citizen opinion on recreation and open space priorities is a key consideration in plan development. It is important to involve the public *early* in the process, through public meetings, surveys, workshops, or other means before the draft plan is written. It is highly recommended that additional effort be put forth to solicit comments from residents living near future projects and from others who may be negatively impacted by the projects. Special efforts may be required to involve segments of the population whose concerns are often overlooked. If your community has substantial minority, low-income, disabled, or elderly populations, identify and address their needs and concerns.

The benefits of soliciting early public input include:

- Increases “ownership” of the community plan by community members.
- Promotes democracy and equality with equal opportunity to share in decisions.
- Empowered citizens tend to be more active and to participate more fully in governance. An active and energetic public can offer much needed support for local governments.
- Creativity is enhanced by many ideas coming from people with diverse backgrounds, skills and abilities. In short, problem solving is enhanced when people work together as a team, not alone.
- When citizens are included in the problem-solving and decision-making process, they share in the ownership of the solutions to their community’s problems and are thus said to “buy in” to these solutions. These citizens are far less likely to oppose your efforts or a solution at the very end of the process, and the solutions you arrive at are likely to be more effective and longer lasting.
- By involving everyone who has a stake in a community issue, you reduce the likelihood of conflict, of “we-they” perspectives, and of coalitions forming in opposition to one another.
- Increases stability and commitment to management that central government cannot duplicate.
- Increases economic and technical efficiency because agencies have more clearly defined responsibilities for their actions.
- Citizens are likely to identify themselves as part of something larger than the sum of their individual relationships.
- Citizens are likely to commit themselves for the long term to their own, one another’s and the group’s well-being.
- Empowers citizens to make those decisions that most affect their own lives.
- Encourages support for citizen and grassroots initiatives.

**As you are developing your plan, you must solicit public input by at least two means. The first means of soliciting public input should take place within a year of adopting the plan and prior to adoption by the governing body.** Public input can be accomplished through your choice of methods, such as those listed in the box below or any additional method of equal effectiveness.

METHODS TO SOLICIT EARLY PUBLIC INPUT IN THE RECREATION PLANNING PROCESS	
Citizen Luncheons	Questionnaires
Community Workshops	Community Surveys
Focus Groups	Public Information Resource Groups

During the first input method, a typical public meeting format is discouraged whereas methods such as focus groups, visioning sessions or charrettes are encouraged because they facilitate more public participation. Describe the method(s) you used and justify why you believe the response you received represented the whole community, especially those groups that may not be likely to attend meetings, the potential users for special



use areas (for example, skate parks) and those who may be greatly affected (positively or negatively) by the recreation and open space opportunities considered (for example, people living in nearby neighborhoods). This is an ideal time to include input from other recreational providers, private and public partners and regional organizations. Provide a copy of the survey, meeting agenda, etc., and a summary of the amount of response and the information and opinions received.

**Once the draft plan has been completed, citizens must be provided with a well-publicized opportunity of adequate length (at least one month) to review and comment on it before it is officially adopted.** One convenient place to allow the public to view the draft plan is at your public library or municipal website. Describe the methods you used to notify the citizens of the opportunity to review and comment on the draft plan before it was officially adopted. The notification can be accomplished by a variety of means including methods typically used to make announcement by the governing body; posting at the government office, municipal website, etc. The announcement must include the date of posting and certified by the publisher. The notice should provide instructions to the public on how to submit comments to the plan via email or other methods. In addition, provide a summary of any comments received and how they were used to modify the plan.

**The second means of soliciting public input is an advertised public hearing (held after the 30-day public review period). This meeting can be held as part of the meeting of a planning committee such as a park and recreation commission or a meeting of the governing body or it can be held as a single topic public hearing. The public hearing must occur prior to passing a resolution for adoption by the highest governing body.** The public hearing and resolution for adoption can occur at one meeting of the highest governing body if they are conducted as separate agenda items and the public hearing occurs prior to the resolution for adoption. The public must be given the opportunity to provide comments prior to passing a resolution to adopt the plan according to the Open Meetings Act, Pa 267 of 1976. The meeting minutes should reflect whether there was public comment or not. The public hearing notice must be available for viewing to residents in all local units of government included in the plan. The final resolution to adopt the plan must come from the highest governing body. Plans will not be accepted if the public hearing occurs after the plan has been adopted by the local governing body(ies). When submitting the plan to the DNR, include a copy of the published hearing notice and the minutes of the meeting at which the public hearing was conducted, and the plan was adopted by the governing body. If the plan was adopted at a separate meeting from the public hearing, provide the minutes of both meetings. An example of the resolution for adopting the recreation plan can be found in the Appendix K.